

**SITE LOCATION MAP**  
SCALE: 1" = 2000'

# MUNICIPAL APPROVAL SITE PLANS FOR VINEYARDS 1 & VINEYARDS 2 SOLAR

APPLICANT/OWNER:  
**SOL SOURCE POWER**  
757 VINEYARD ROAD  
TOWN CROWN POINT, ESSEX COUNTY, NEW YORK

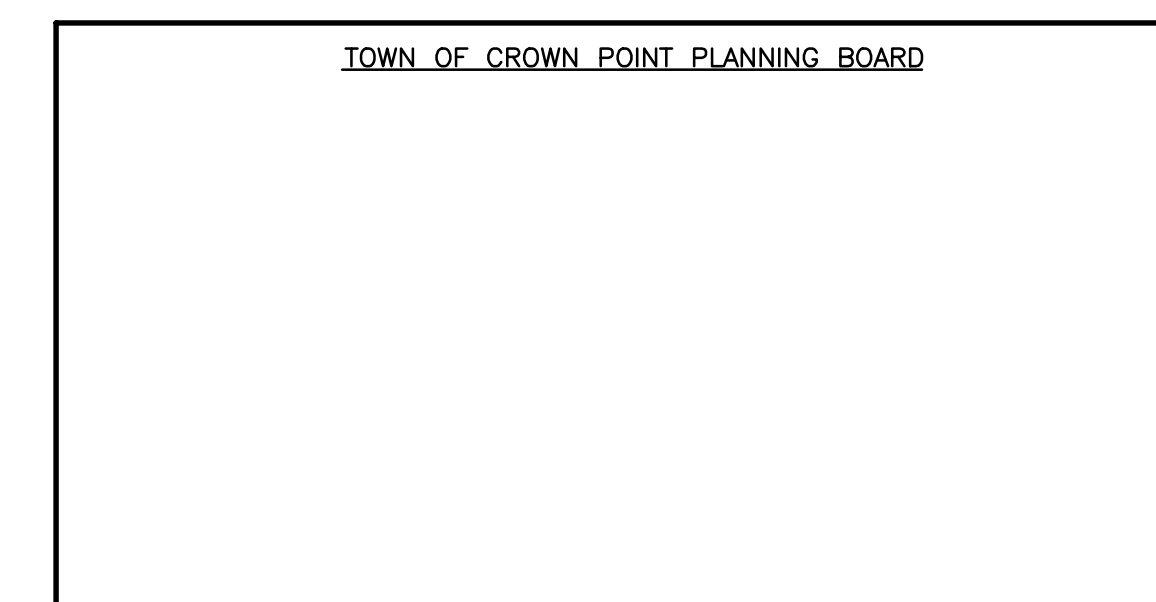


### SITE STATISTICS

ZONING	N/A
OVERALL PARCEL AREA:	
VINEYARD 1	48.10± ACRES
VINEYARD 2	20.34± ACRES
TOTAL	68.44± ACRES
LEASE PARCEL AREA:	
VINEYARD 1	18.03± ACRES
VINEYARD 2	15.81± ACRES
TOTAL	33.84± ACRES
MAXIMUM PERMITTED SOLAR COLLECTOR HEIGHT:	N/A
REQUIRED SETBACKS:	
FRONT YARD	50 FT
SIDE YARD	25 FT
REAR YARD	25 FT
PROPOSED SOLAR PANEL SETBACKS (FROM THE OVERALL PROJECT):	
FRONT YARD	50 FT
SIDE YARD	52 FT
REAR YARD	52 FT
PROPOSED FENCED AREA:	
VINEYARD 1	16.90± ACRES
VINEYARD 2	14.50± ACRES
TOTAL	31.40± ACRES
PROPOSED ROAD LENGTH:	
VINEYARD 1	475± LF
VINEYARD 2	390± LF
TOTAL	865± LF
PROPOSED IMPERVIOUS AREA:	
VINEYARD 1	0.28± ACRES
VINEYARD 2	0.24± ACRES
TOTAL	0.52± ACRES
PROPOSED GROUND DISTURBANCE:	
VINEYARD 1	18.00± ACRES
VINEYARD 2	15.10± ACRES
TOTAL	33.10± ACRES
SOLAR PANEL AREA:	
VINEYARD 1	5.75± ACRES
VINEYARD 2	5.85± ACRES
TOTAL	11.60± ACRES
PROPOSED TREE CLEARING	4.52± ACRES
SCHOOL DISTRICT:	CROWN POINT CENTRAL SCHOOL DISTRICT
FIRE DISTRICT:	CROWN POINT FIRE DISTRICT
TOTAL WETLAND DISTURBANCE:	NONE



Sheet Number	Sheet Title
C-100	COVER SHEET
C-200	EXISTING CONDITIONS
C-201	REMOVALS AND TREE CLEARING PLAN
C-300	OVERALL LAYOUT AND MATERIALS PLAN
C-301	LAYOUT AND MATERIALS PLAN
C-302	LAYOUT AND MATERIALS PLAN
C-303	LAYOUT AND MATERIALS PLAN
C-400	OVERALL DRAINAGE AND GRADING PLAN
C-401	DRAINAGE AND GRADING PLAN
C-402	DRAINAGE AND GRADING PLAN
C-403	DRAINAGE AND GRADING PLAN
C-500	OVERALL EROSION AND SEDIMENT CONTROL PLAN
C-501	EROSION AND SEDIMENT CONTROL PLAN
C-502	EROSION AND SEDIMENT CONTROL PLAN
C-503	EROSION AND SEDIMENT CONTROL PLAN
C-600	EROSION AND SEDIMENT CONTROL DETAILS
C-601	SITE DETAILS
E-100	ELECTRICAL DETAILS (BY OTHERS)
L-100	LANDSCAPING PLAN



RECORD OF SUBMITTALS	DATE	BY
SUBMITTAL TO APA	2/9/2024	MA
SUBMITTAL TO APA	4/10/2024	MA
SUBMITTAL TO APA	5/15/2024	TJM

**PLANS PREPARED BY:**  
 ENVIRONMENTAL DESIGN PARTNERSHIP, LLP.  
 908 Route 146 Clifton Park, New York 12065  
 (518) 371-7621 edp@edp.com

FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION

DATE	BY
1/13/24	MA
5/17/24	TJM

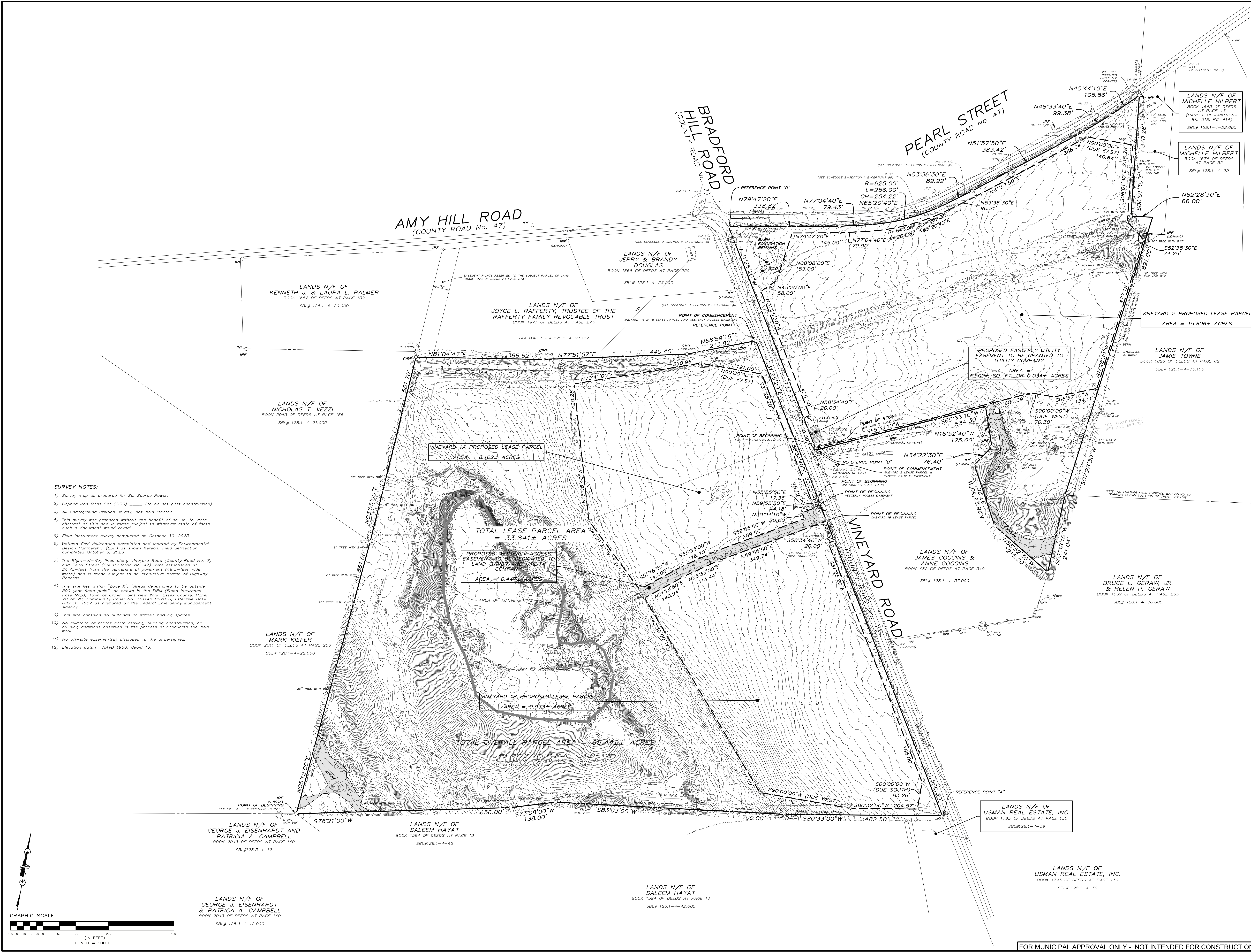
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SHEET: C-100

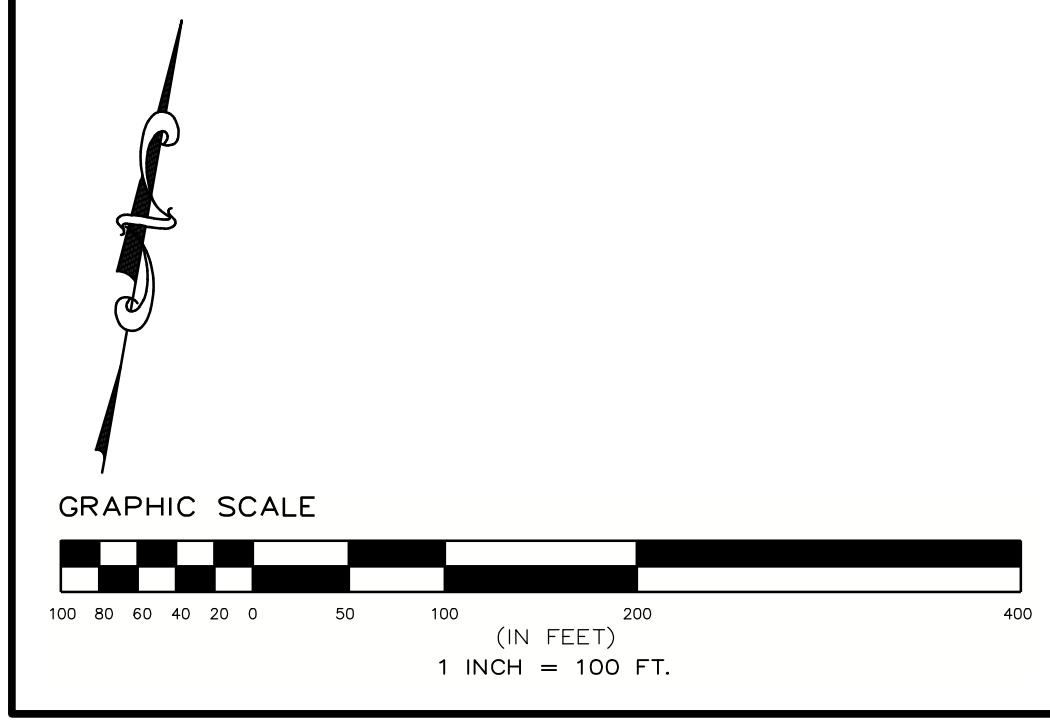
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REVISION	DATE	BY
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SCALE: 1" = 100'  
 NOT FOR CONSTRUCTION  
 SHEET TITLE: EXISTING CONDITIONS  
 SHEET: C-200


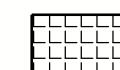

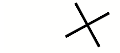


- SURVEY NOTES:**
- 1) Survey map as prepared for Sol Source Power.
  - 2) Capped Iron Rods Set (CIRS) (to be set post construction).
  - 3) All underground utilities, if any, not field located.
  - 4) This survey was prepared without the benefit of an up-to-date abstract of title and is made subject to whatever state of facts such a document would reveal.
  - 5) Field instrument survey completed on October 30, 2023.
  - 6) Wetland field delineation completed and located by Environmental Design Partnership (EDP) as shown herein. Field delineation completed October 5, 2023.
  - 7) The Right-of-Way lines along Vineyard Road (County Road No. 7) and Pearl Street (County Road No. 47) were established at 24.75-feet from the centerline of pavement (49.5-foot wide width) and is made subject to an exhaustive search of Highway Records.
  - 8) This site lies within "Zone X". Areas determined to be outside 500 year flood plain, as shown in the FIRM (Flood Insurance Rate Map), Town of Crown Point New York, Essex County, Panel 20 of 20, Community Panel No. 361148 0020 B, Effective Date July 16, 1987 as prepared by the Federal Emergency Management Agency.
  - 9) This site contains no buildings or striped parking spaces.
  - 10) No evidence of recent earth moving, building construction, or building additions observed in the process of conducting the field work.
  - 11) No off-site easement(s) disclosed to the undersigned.
  - 12) Elevation datum: NAVD 1988, Geoid 18.



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**REMOVALS LEGEND:**

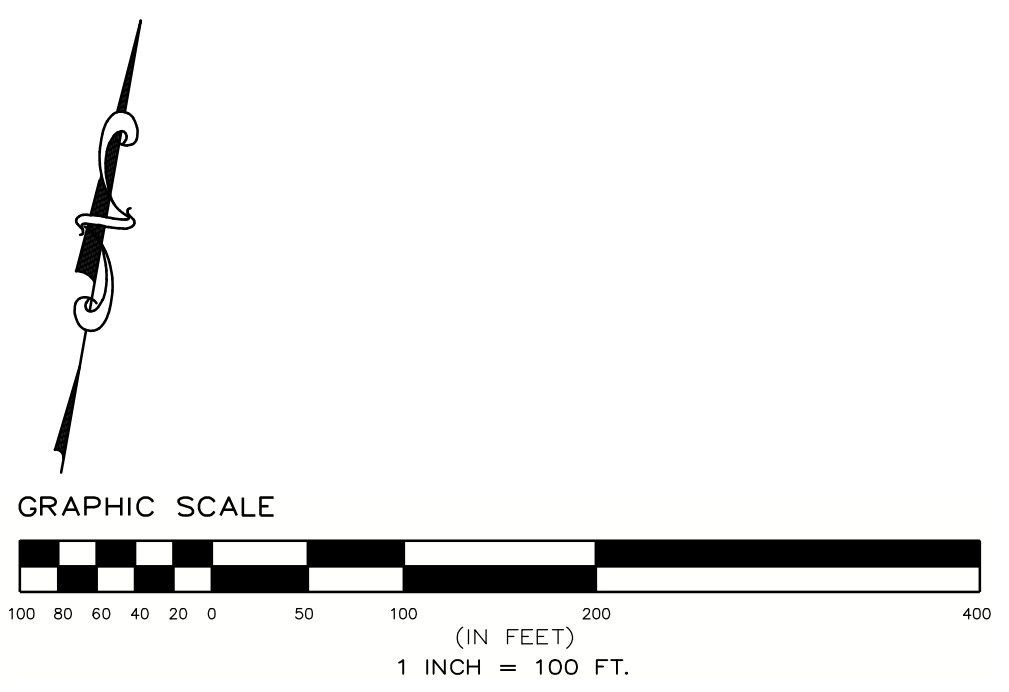
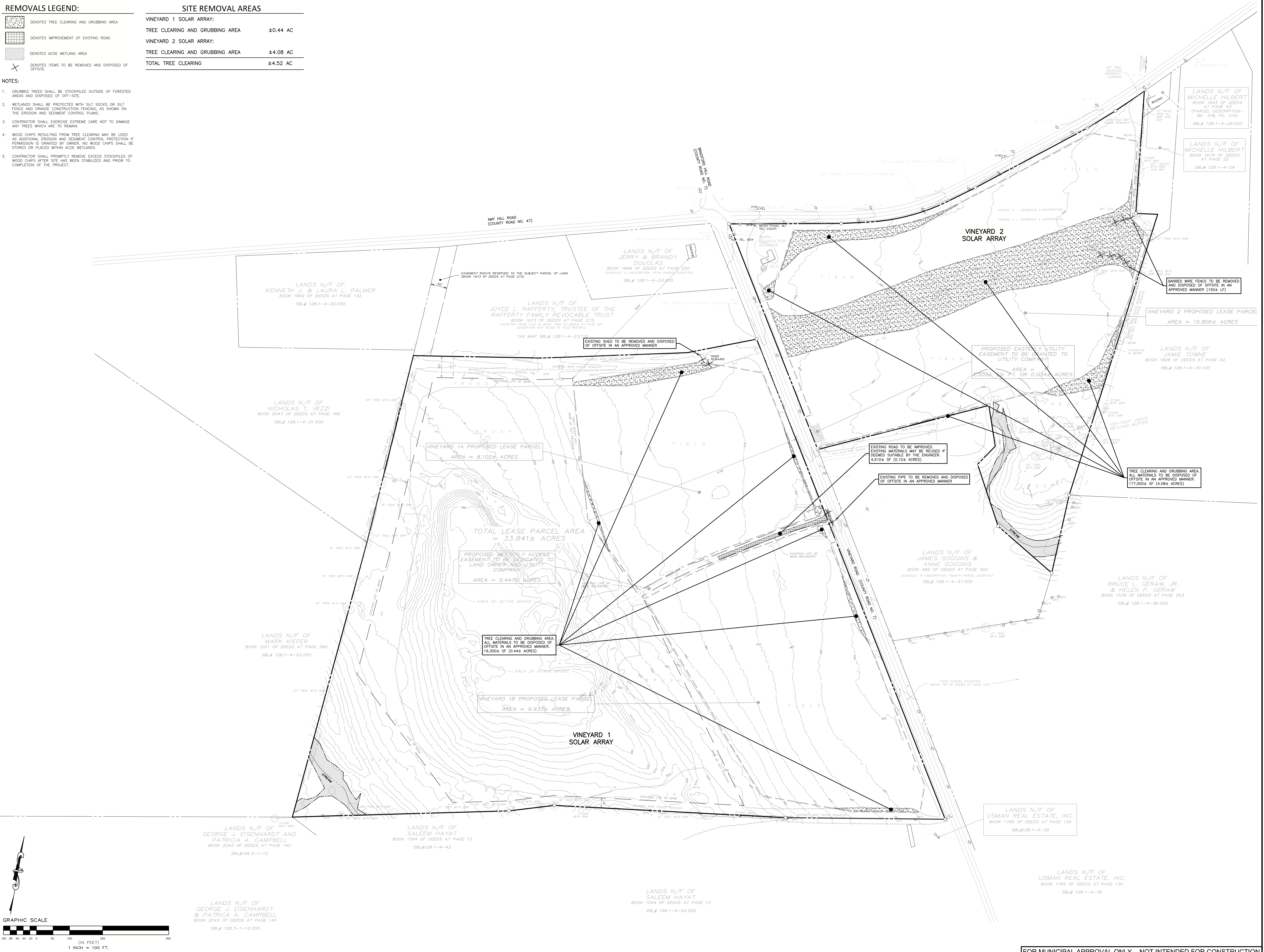
-  DENOTES TREE CLEARING AND GRUBBING AREA
-  DENOTES IMPROVEMENT OF EXISTING ROAD
-  DENOTES ACOE WETLAND AREA
-  DENOTES ITEMS TO BE REMOVED AND DISPOSED OF OFFSITE

**SITE REMOVAL AREAS**

VINEYARD 1 SOLAR ARRAY:	
TREE CLEARING AND GRUBBING AREA	±0.44 AC
VINEYARD 2 SOLAR ARRAY:	
TREE CLEARING AND GRUBBING AREA	±4.08 AC
<b>TOTAL TREE CLEARING</b>	<b>±4.52 AC</b>

**NOTES:**

1. GRUBBED TREES SHALL BE STOCKPILED OUTSIDE OF FORESTED AREAS AND DISPOSED OF OFF-SITE.
2. WETLANDS SHALL BE PROTECTED WITH SILT SOCKS OR SILT FENCE AND CHANGE CONSTRUCTION FENCING AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS.
3. CONTRACTOR SHALL EXERCISE EXTREME CARE NOT TO DAMAGE ANY TREES WHICH ARE TO REMAIN.
4. WOOD CHIPS RESULTING FROM TREE CLEARING MAY BE USED AS ADDITIONAL EROSION AND SEDIMENT CONTROL PROTECTION IF PERMISSION IS GRANTED BY OWNER. NO WOOD CHIPS SHALL BE STORED OR PLACED WITHIN ACOE WETLANDS.
5. CONTRACTOR SHALL PROMPTLY REMOVE EXCESS STOCKPILES OF WOOD CHIPS AFTER SITE HAS BEEN STABILIZED AND PRIOR TO COMPLETION OF THE PROJECT.

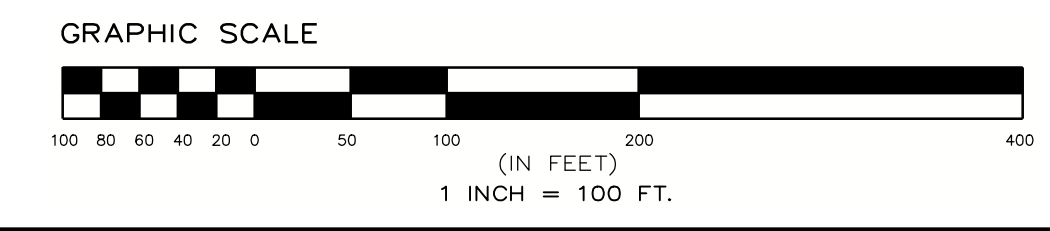


DATE:	11/15/23
CHECKED BY:	DK
PROJECT NUMBER:	14811
REVISION:	DATE
REVISION #1:	5/17/24
REVISION #2:	5/17/24

SCALE:	1" = 100'
NOT FOR CONSTRUCTION	
SHEET TITLE:	REMOVALS AND TREE CLEARING PLAN
SHEET:	C-201

LAYOUT AND MATERIALS PLAN  
LEGEND

- EXISTING GRADE
- GRAVEL ACCESS ROAD - C-600
- DENOTES USAGE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE - C-601
- FIXED TILT SOLAR PANEL BY OTHERS
- MEDIUM VOLTAGE TRENCH, BY OTHERS - E-100
- LOW VOLTAGE TRENCH, BY OTHERS - E-100
- PROPOSED CONTOUR
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN - C-601
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)



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ENVIRONMENTAL DESIGN  
 PARTNERSHIP, LLP.  
 908 Route 446 Clinton Park, New York, 12065  
 (518) 537-1021

TAX MAP No. 128.1-4-23.111

FEBRUARY 09, 2024

MUNICIPAL APPROVAL SITE PLANS FOR

VINEYARDS 1 & VINEYARDS 2 SOLAR

SOL SOURCE POWER

757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DRAWN BY	FE
CHECKED BY	SK
PROJECT NUMBER	14031

REVISION	DATE

SCALE:

1" = 100'

NOT FOR CONSTRUCTION

SHEET TITLE:

OVERALL LAYOUT AND MATERIALS PLAN

SHEET:

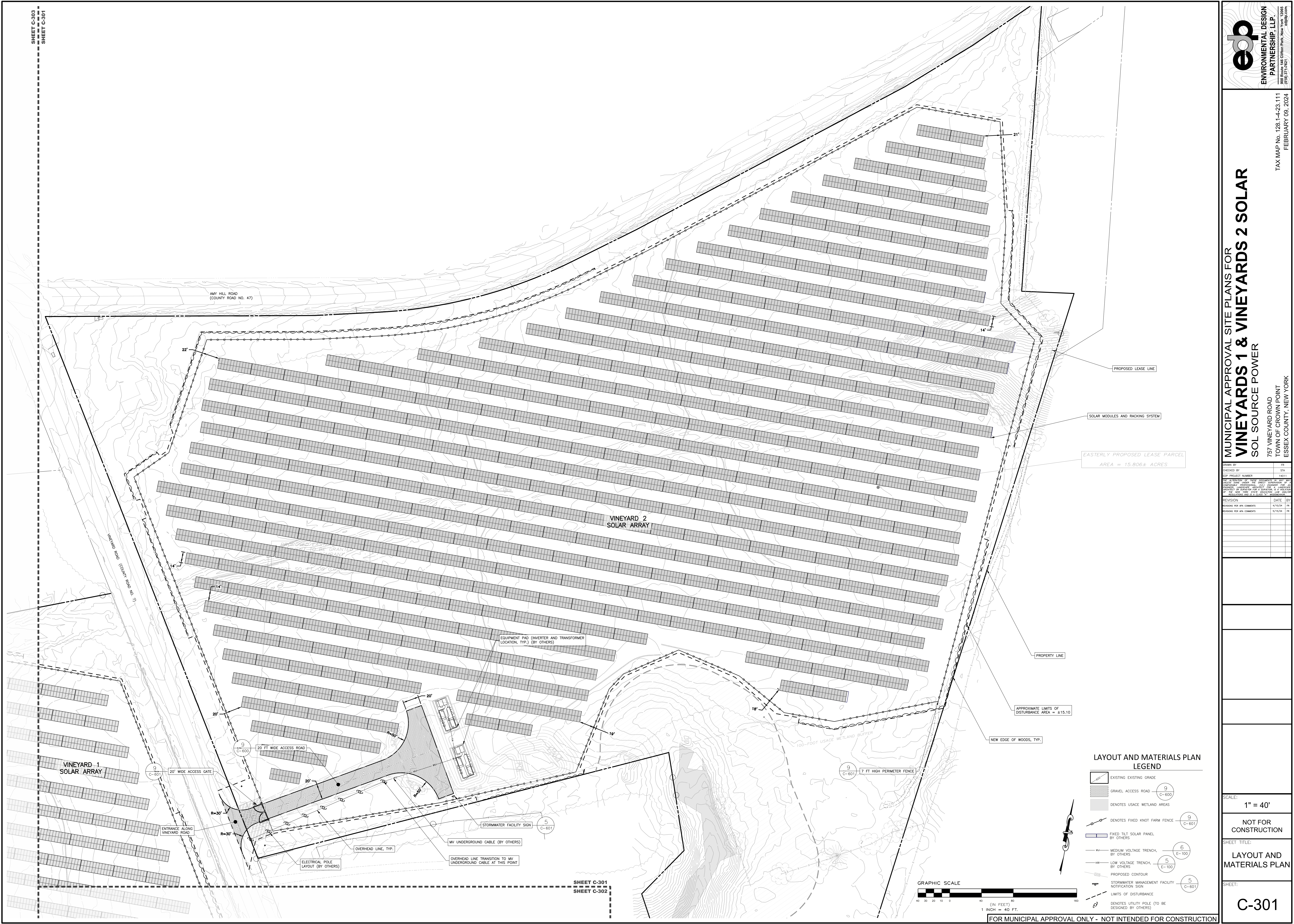
C-300

MUNICIPAL APPROVAL SITE PLANS FOR  
**VINEYARDS 1 & VINEYARDS 2 SOLAR**  
SOL SOURCE POWER

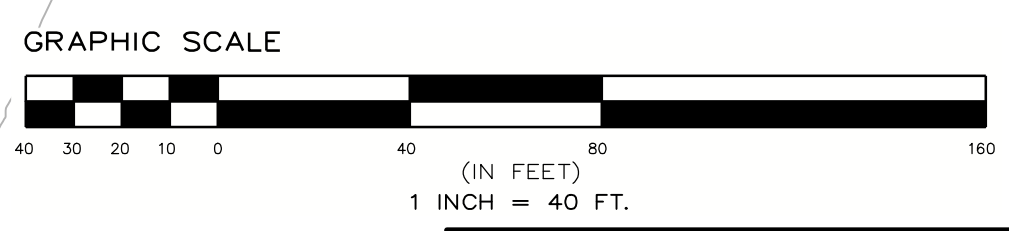
TAX MAP No. 128.1-4-23.111  
FEBRUARY 09, 2024

757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DESIGNED BY	FE
CHECKED BY	SK
DATE	1/15/24
PROJECT NUMBER	14811
THIS IS A PRELIMINARY DESIGN. THE CLIENT AND DESIGNER AGREE THAT THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE CLIENT AND DESIGNER AGREE THAT THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS.	
REVISION	DATE
ISSUED FOR PERMITS	1/15/24
ISSUED FOR PERMITS	1/15/24



SHEET C-301  
SHEET C-302



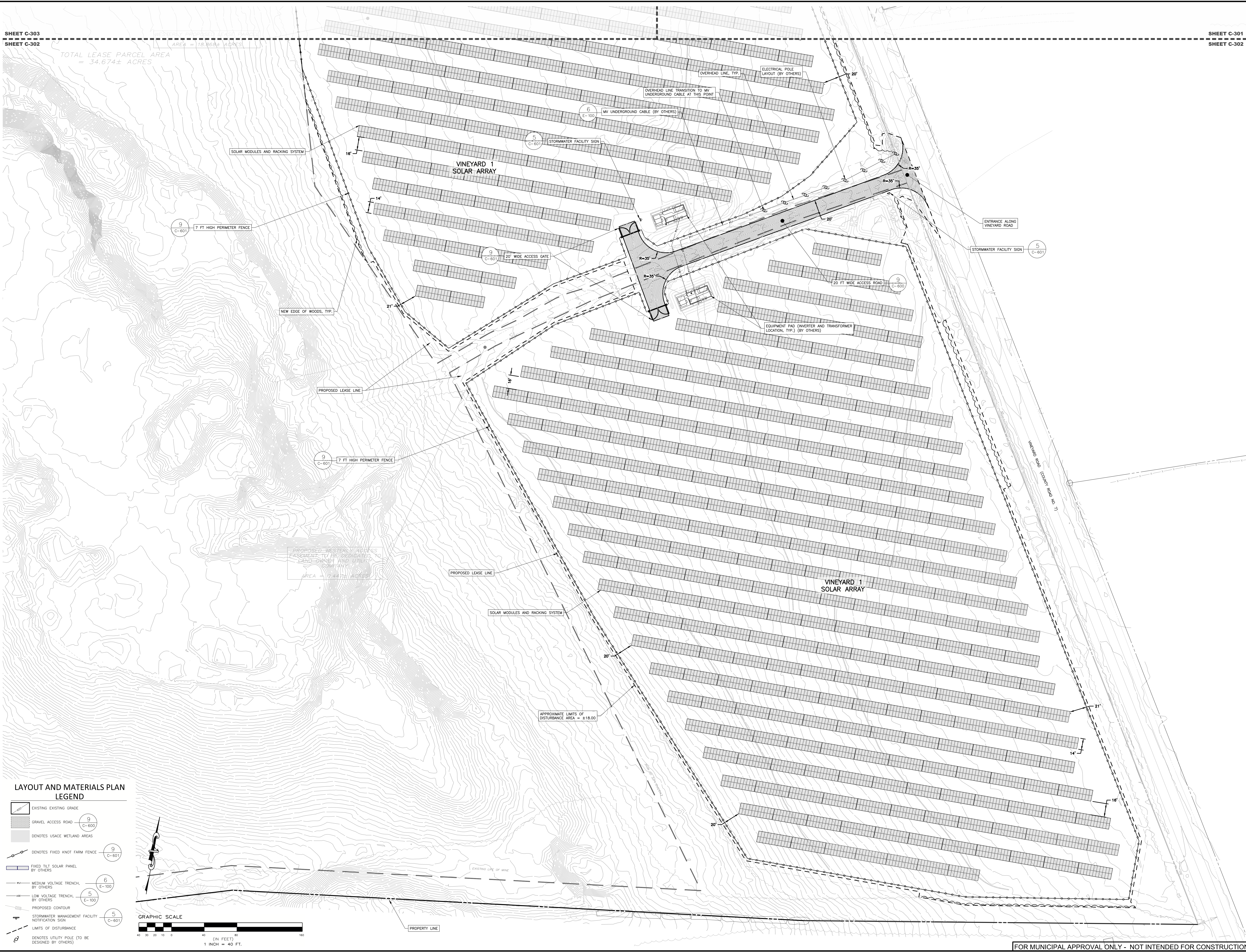
**LAYOUT AND MATERIALS PLAN LEGEND**

	EXISTING EXISTING GRADE
	GRAVEL ACCESS ROAD (9 C-600)
	DENOTES USAGE WETLAND AREAS
	DENOTES FIXED KNOT FARM FENCE (9 C-601)
	FIXED TILT SOLAR PANEL BY OTHERS
	MEDIUM VOLTAGE TRENCH, BY OTHERS (6 E-100)
	LOW VOLTAGE TRENCH, BY OTHERS (5 E-100)
	PROPOSED CONTOUR
	STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (5 C-601)
	LIMITS OF DISTURBANCE
	DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)

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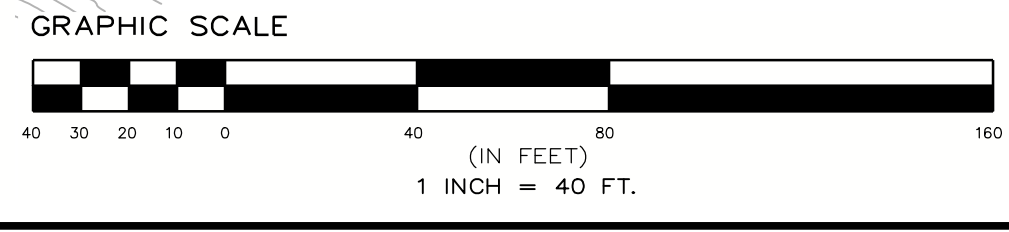
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NOT FOR CONSTRUCTION  
SHEET TITLE: LAYOUT AND MATERIALS PLAN  
SHEET: C-301

TOTAL LEASE PARCEL AREA  
= 34.674± ACRES



LAYOUT AND MATERIALS PLAN  
LEGEND

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (9 C-600)
- DENOTES USACE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE (9 C-601)
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MUNICIPAL APPROVAL SITE PLANS FOR  
**VINEYARDS 1 & VINEYARDS 2 SOLAR**  
SOL SOURCE POWER  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DRAWN BY	FR
CHECKED BY	FR
DATE	1/23/24
PROJECT NUMBER	14011

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REVISION	DATE	BY
ISSUED FOR PERMITS	5/17/24	FR
ISSUED FOR PERMITS	5/17/24	FR

SCALE: 1" = 40'

NOT FOR CONSTRUCTION

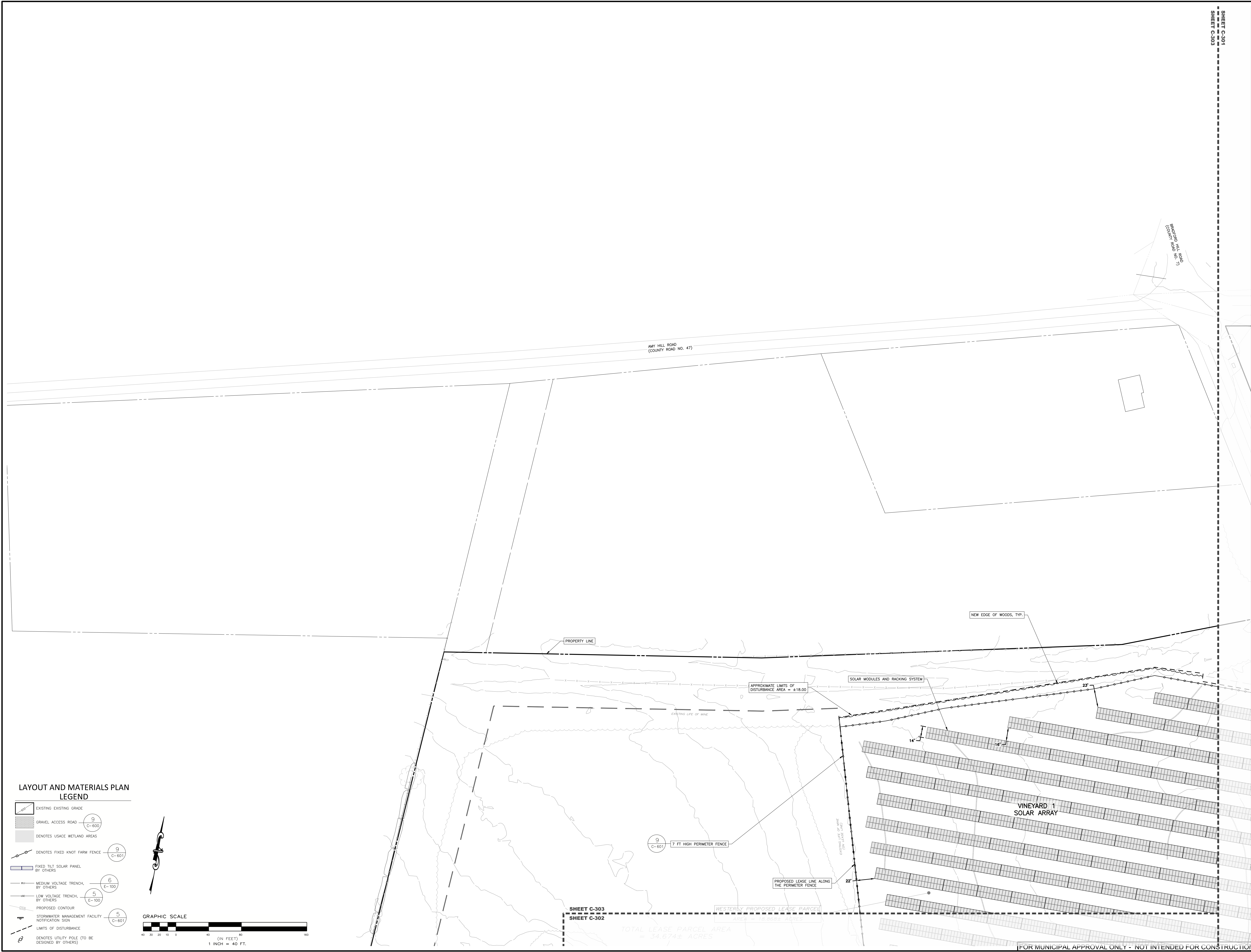
SHEET TITLE: LAYOUT AND MATERIALS PLAN

SHEET: C-302

DESIGNED BY	DATE
CHECKED BY	DATE
FOR PROJECT NUMBER	14831
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REVISION PER WSA COMMENTS	5/1/24
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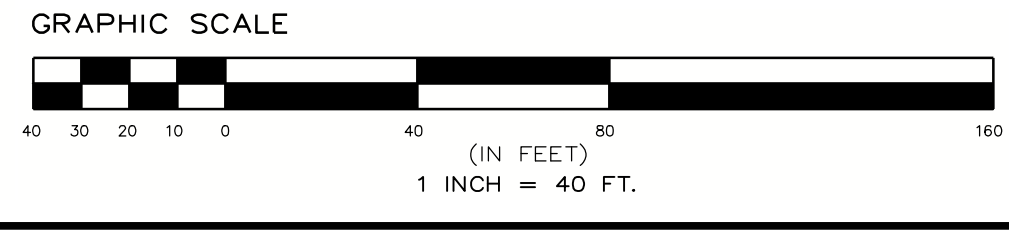
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SHEET: C-303	

SHEET C-301  
 SHEET C-303



**LAYOUT AND MATERIALS PLAN  
 LEGEND**

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (C-600)
- DENOTES USAGE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE (C-601)
- FIXED TILT SOLAR PANEL BY OTHERS
- MEDIUM VOLTAGE TRENCH BY OTHERS (E-100)
- LOW VOLTAGE TRENCH BY OTHERS (E-105)
- PROPOSED CONTOUR
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (C-601)
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)



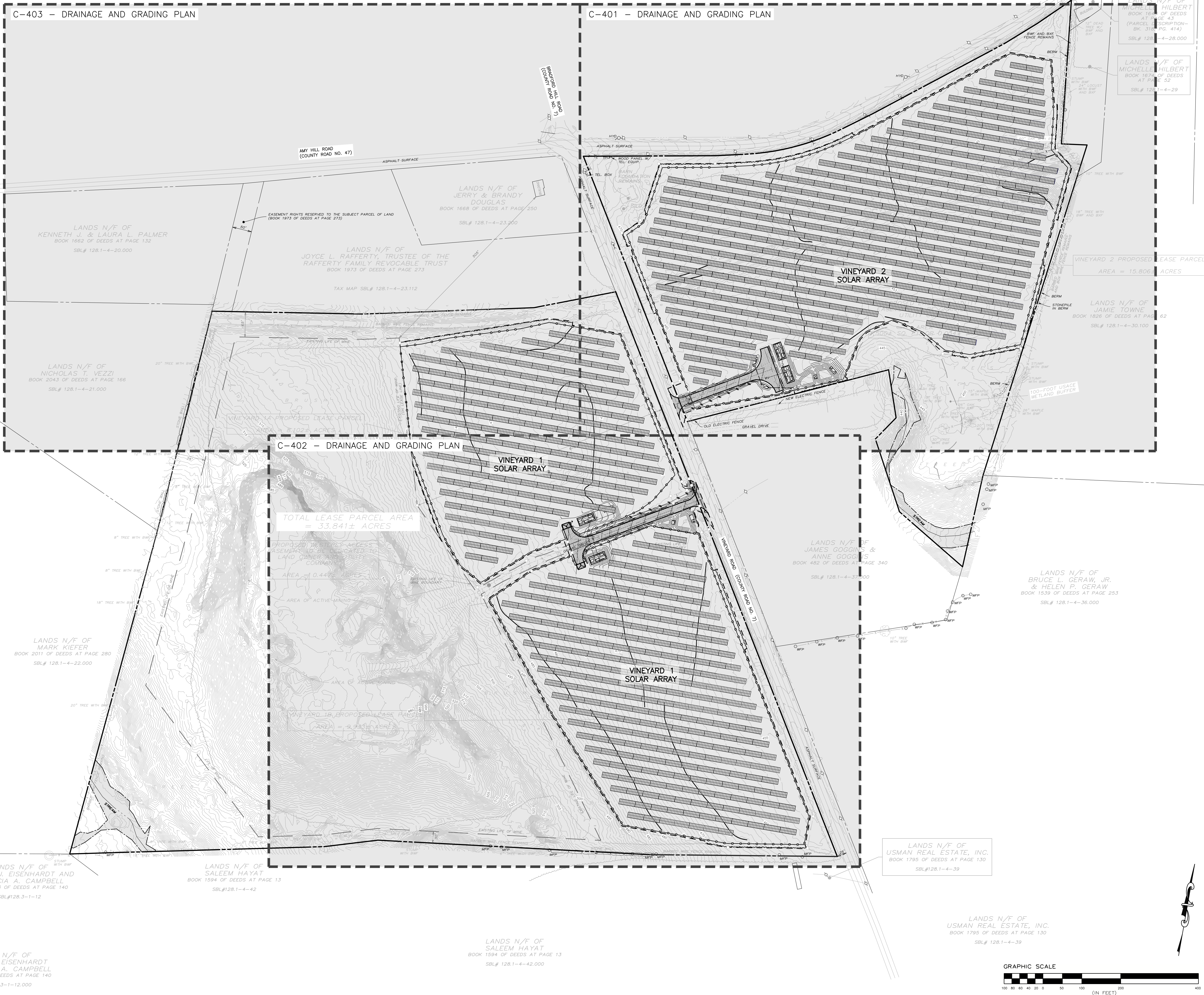
SHEET C-303  
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TOTAL LEASE PARCEL AREA = 34.6741 ACRES

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**DRAINAGE AND GRADING PLAN  
LEGEND**

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (C-600)
- DENOTES USAGE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE (C-601)
- FIXED TILT SOLAR PANEL BY OTHERS
- MEDIUM VOLTAGE TRENCH BY OTHERS (E-100)
- LOW VOLTAGE TRENCH BY OTHERS (E-100)
- PROPOSED CONTOUR (C-601)
- PERMANENT OVERLAND FLOW DISPERSION DEVICE (C-601)
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (C-601)
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)

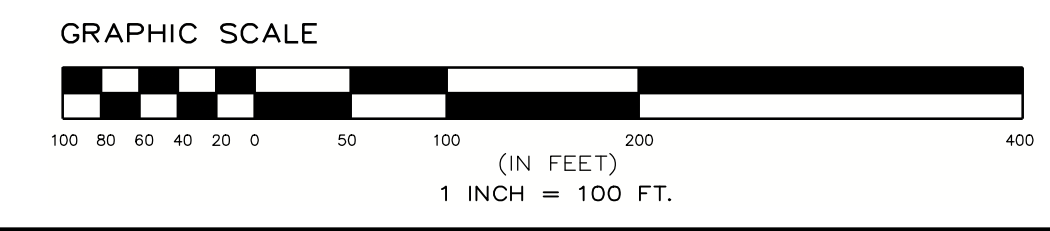


**MUNICIPAL APPROVAL SITE PLANS FOR  
VINEYARDS 1 & VINEYARDS 2 SOLAR  
SOL SOURCE POWER**  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DESIGNED BY	RS
CHECKED BY	DK
PROJECT NUMBER	18011

REVISION	DATE
ISSUE FOR PERMITS	4/1/24
ISSUE FOR PERMITS	5/1/24

SCALE: 1" = 100'  
NOT FOR CONSTRUCTION  
SHEET TITLE: OVERALL DRAINAGE AND GRADING PLAN  
SHEET: C-400



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MUNICIPAL APPROVAL SITE PLANS FOR  
**VINEYARDS 1 & VINEYARDS 2 SOLAR**  
SOL SOURCE POWER  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

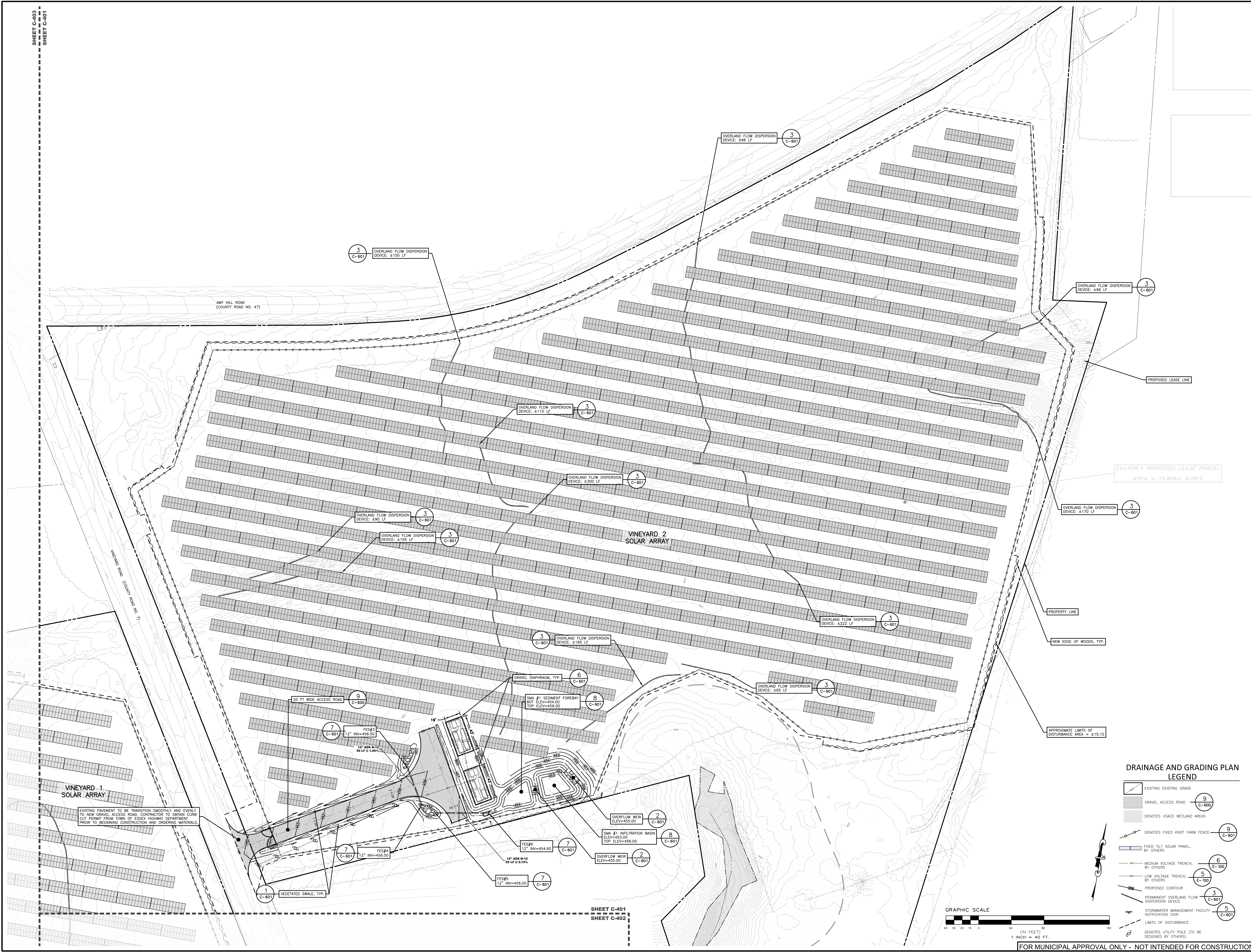
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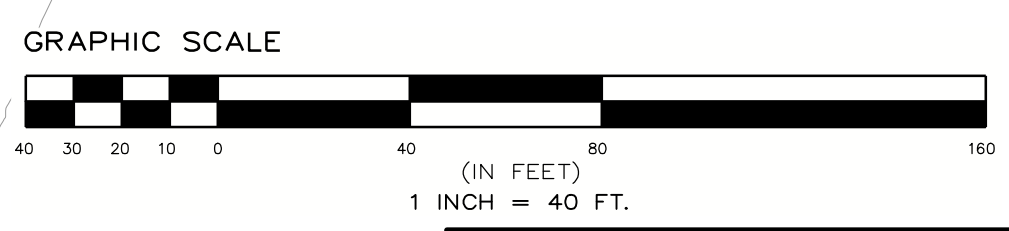
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8	REVISION PER PERMITS COMMENTS	1/17/24
9	REVISION PER PERMITS COMMENTS	1/17/24



**DRAINAGE AND GRADING PLAN LEGEND**

- EXISTING GRADE
- GRAVEL ACCESS ROAD
- DENOTES USAGE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE
- FIXED TILT SOLAR PANEL, BY OTHERS
- MEDIUM VOLTAGE TRENCH, BY OTHERS
- LOW VOLTAGE TRENCH, BY OTHERS
- PROPOSED CONTOUR
- PERMANENT OVERLAND FLOW DISPERSION DEVICE
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)

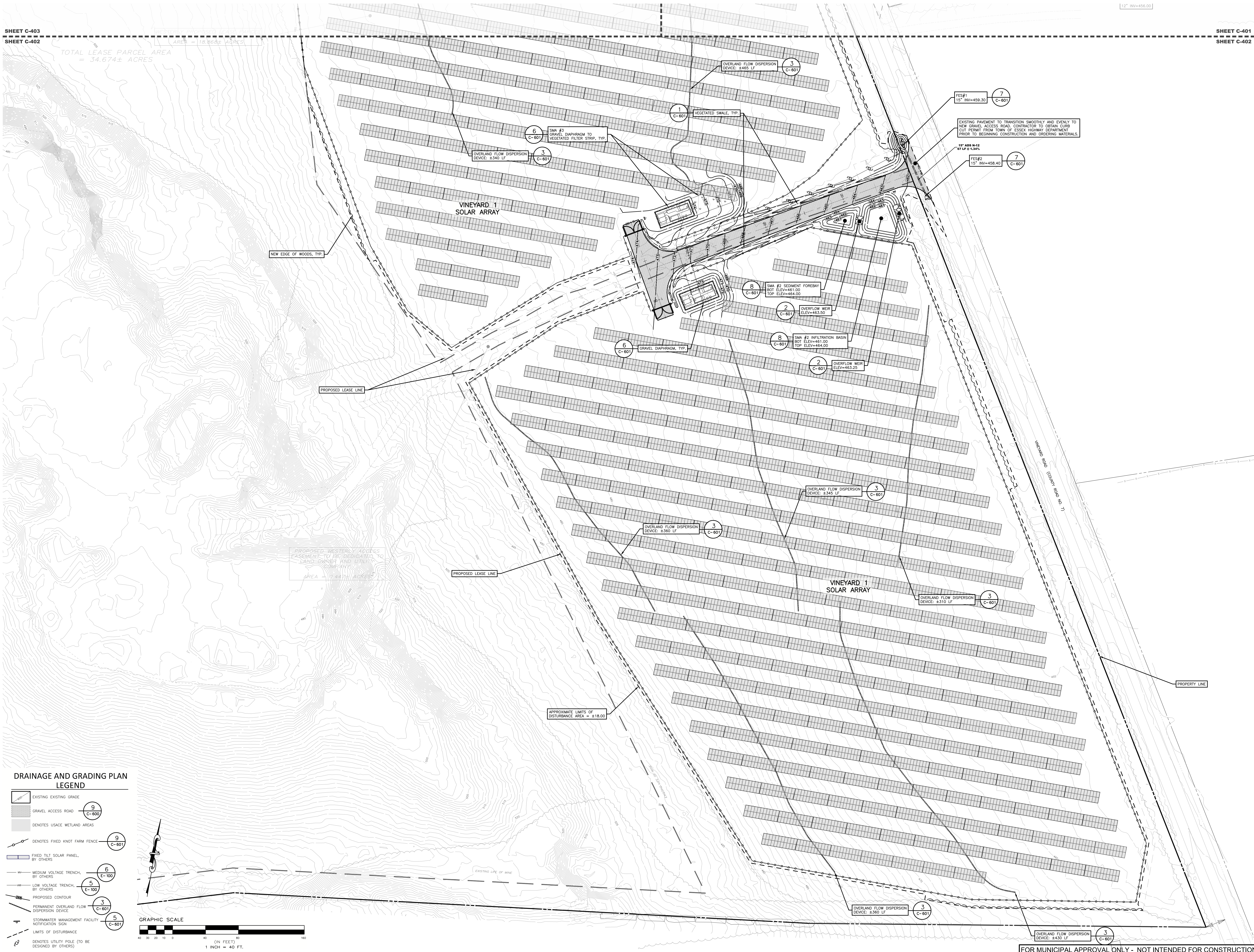


FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION

SHEET C-401  
SHEET C-402

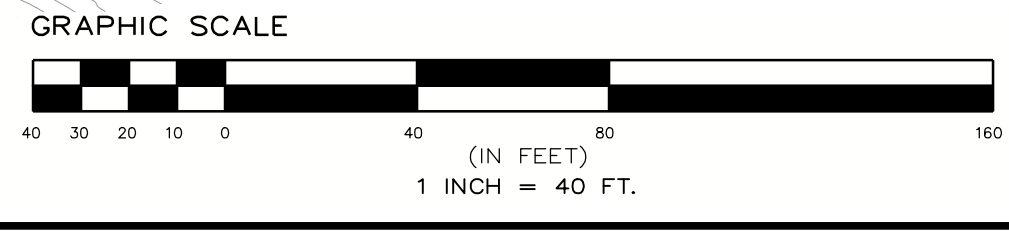
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TOTAL LEASE PARCEL AREA  
= 34.674± ACRES



### DRAINAGE AND GRADING PLAN LEGEND

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (9 C-600)
- DENOTES USACE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE (9 C-601)
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MUNICIPAL APPROVAL SITE PLANS FOR  
**VINEYARDS 1 & VINEYARDS 2 SOLAR**  
SOL SOURCE POWER  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DATE	BY	REVISION
5/17/24	EDP	ISSUE FOR PERMIT
5/17/24	EDP	REVISION PER WEA COMMENTS
5/17/24	EDP	REVISION PER WEA COMMENTS

SCALE:	1" = 40'
SHEET TITLE:	NOT FOR CONSTRUCTION DRAINAGE AND GRADING PLAN
SHEET:	C-402

FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION

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DESIGNED BY:	DK
CHECKED BY:	DK
PER PROJECT NUMBER:	1403.1
DATE:	5/17/24
REVISION:	DATE:
REVISION NO. WITH COMMENTS:	5/17/24
REVISION NO. WITH COMMENTS:	5/17/24

SCALE:	1" = 40'
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NOT FOR CONSTRUCTION
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SHEET TITLE:	DRAINAGE AND GRADING PLAN
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SHEET:	C-403
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FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION
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TOTAL LEASE PARCEL AREA = 34.6741 ACRES
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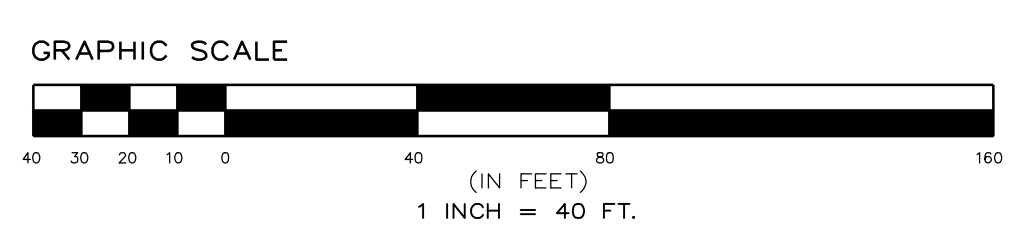
PROPERTY LINE
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APPROXIMATE LIMITS OF DISTURBANCE AREA = ±18.00
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**DRAINAGE AND GRADING PLAN LEGEND**

- EXISTING GRADE
- GRAVEL ACCESS ROAD
- DENOTES USACE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE
- FIXED TILT SOLAR PANEL BY OTHERS
- MEDIUM VOLTAGE TRENCH BY OTHERS
- LOW VOLTAGE TRENCH BY OTHERS
- PROPOSED CONTOUR
- PERMANENT OVERLAND FLOW DISPERSION DEVICE
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)










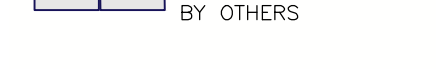
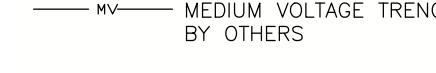
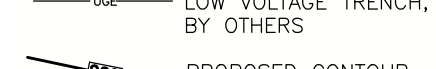




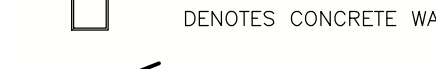


SHEET C-403  
 SHEET C-402

TOTAL LEASE PARCEL AREA = 34.6741 ACRES

SHEET C-401  
 SHEET C-403

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SEDIMENT AND EROSION CONTROL LEGEND

-  EXISTING EXISTING GRADE
-  GRAVEL ACCESS ROAD (9 C-600)
-  TEMPORARY GRAVEL ACCESS ROAD (3 C-600)
-  STABILIZED CONSTRUCTION ENTRANCE (3 C-600)
-  DENOTES USAGE WETLAND AREAS
-  DENOTES FIXED KNOT FARM FENCE (9 C-601)
-  FIXED TILT SOLAR PANEL BY OTHERS
-  MEDIUM VOLTAGE TRENCH BY OTHERS (6 E-100)
-  LOW VOLTAGE TRENCH BY OTHERS (5 E-100)
-  PROPOSED CONTOUR
-  PERMANENT OVERLAND FLOW DISPERSION DEVICE (3 C-601)
-  STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (5 C-601)
-  LIMITS OF DISTURBANCE
-  DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)
-  DENOTES CONCRETE WASHOUT AREA (6 C-600)
-  DENOTES SILT FENCE (2 C-600)
-  DENOTES CHECK DAM (4 C-600)

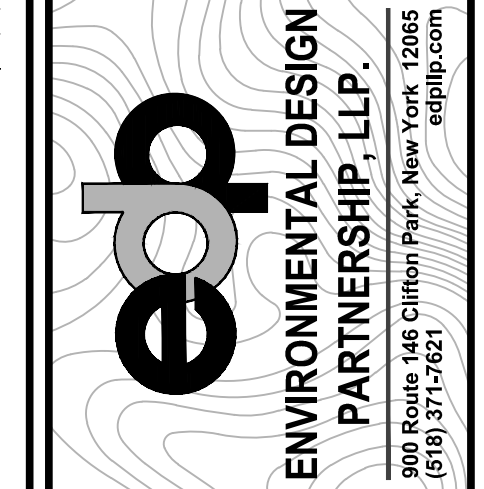


C-503 - EROSION AND SEDIMENT CONTROL PLAN

C-501 - EROSION AND SEDIMENT CONTROL PLAN

C-502 - EROSION AND SEDIMENT CONTROL PLAN

TOTAL LEASE PARCEL AREA = 33.841± ACRES



TAX MAP No. 128.1-4-23.111  
FEBRUARY 09, 2024

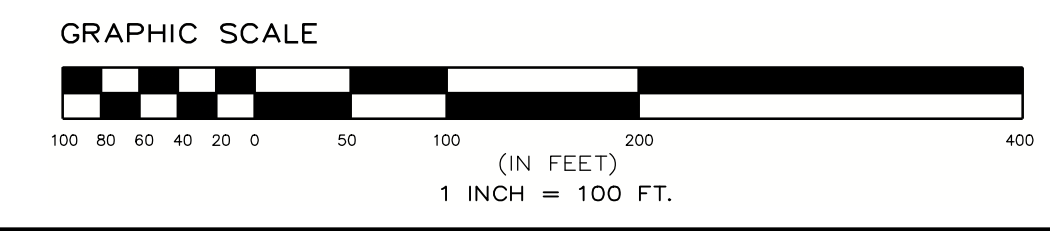
MUNICIPAL APPROVAL SITE PLANS FOR  
**VINEYARDS 1 & VINEYARDS 2 SOLAR**  
SOL SOURCE POWER

757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

REVISION	DATE	BY

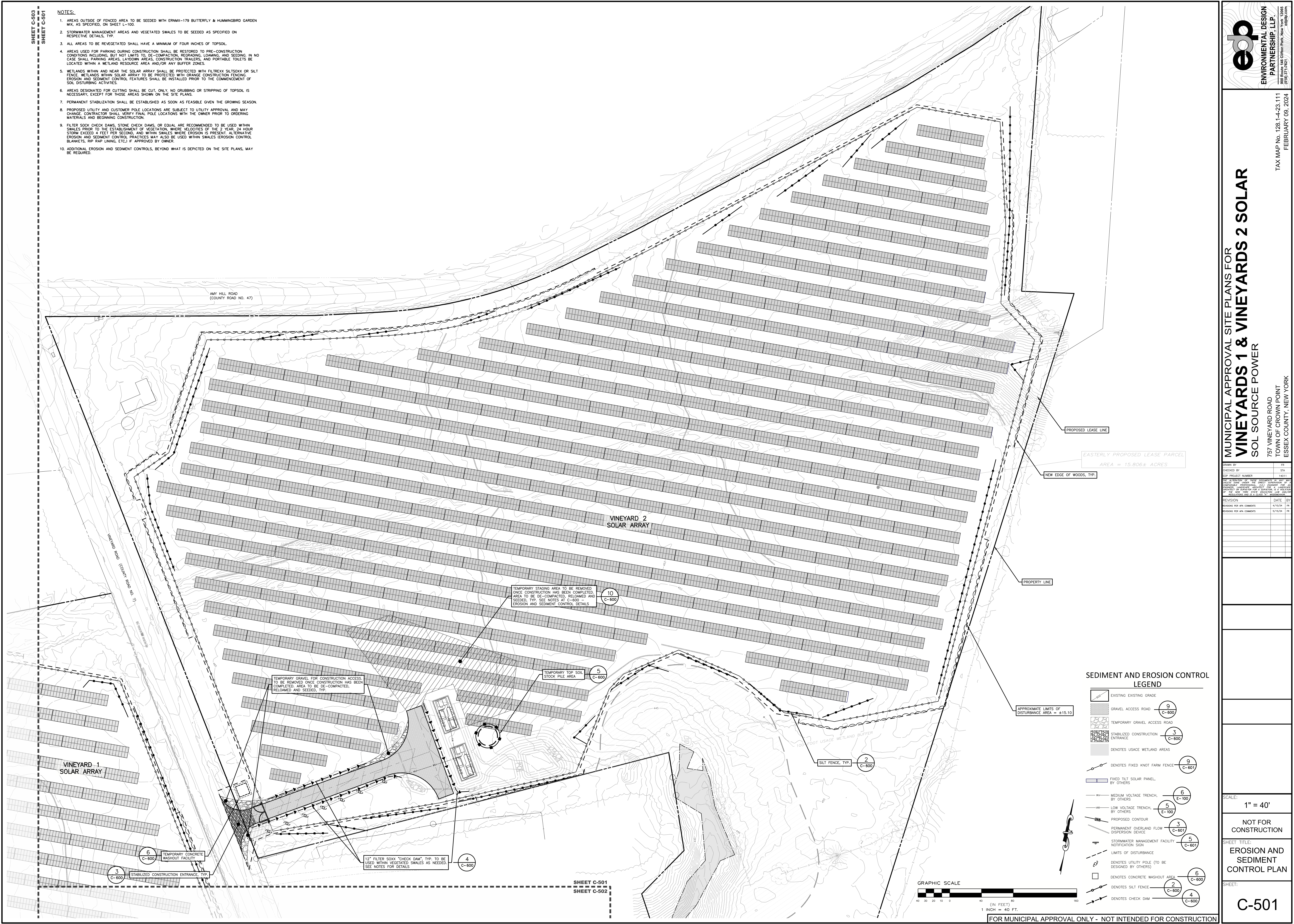
  

SCALE:	1" = 100'
NOT FOR CONSTRUCTION	
SHEET TITLE:	OVERALL EROSION AND SEDIMENT CONTROL PLAN
SHEET:	C-500



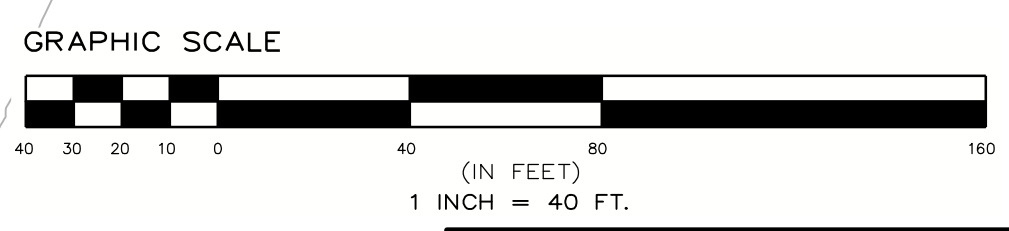
FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION

- NOTES:**
- AREAS OUTSIDE OF FENCED AREA TO BE SEEDED WITH ERNXX-179 BUTTERFLY & HUMMINGBIRD GARDEN MIX, AS SPECIFIED, ON SHEET L-100.
  - STORMWATER MANAGEMENT AREAS AND VEGETATED SWALES TO BE SEED AS SPECIFIED ON RESPECTIVE DETAILS, TYP.
  - ALL AREAS TO BE REVEGETATED SHALL HAVE A MINIMUM OF FOUR INCHES OF TOPSOIL.
  - AREAS USED FOR PARKING DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS INCLUDING, BUT NOT LIMITED TO, DE-COMPACTING, REGRADING, LOAMING, AND SEEDING. IN NO CASE SHALL PARKING AREAS, LAYDOWN AREAS, CONSTRUCTION TRAILERS, AND PORTABLE TOILETS BE LOCATED WITHIN A WETLAND RESOURCE AREA AND/OR ANY BUFFER ZONES.
  - WETLANDS WITHIN AND NEAR THE SOLAR ARRAY SHALL BE PROTECTED WITH FILTERTEX SILTSCREENS OR SILT FENCE. WETLANDS WITHIN SOLAR ARRAY TO BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. EROSION AND SEDIMENT CONTROL FEATURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SOIL DISTURBING ACTIVITIES.
  - AREAS DESIGNATED FOR CUTTING SHALL BE CUT, ONLY. NO GRUBBING OR STRIPPING OF TOPSOIL IS NECESSARY, EXCEPT FOR THOSE AREAS SHOWN ON THE SITE PLANS.
  - PERMANENT STABILIZATION SHALL BE ESTABLISHED AS SOON AS FEASIBLE GIVEN THE GROWING SEASON.
  - PROPOSED UTILITY AND CUSTOMER POLE LOCATIONS ARE SUBJECT TO UTILITY APPROVAL AND MAY CHANGE. CONTRACTOR SHALL VERIFY FINAL POLE LOCATIONS WITH THE OWNER PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
  - FILTER SOCK CHECK DAMS, STONE CHECK DAMS, OR EQUAL ARE RECOMMENDED TO BE USED WITHIN SWALES PRIOR TO THE ESTABLISHMENT OF VEGETATION. WHERE VELOCITIES OF THE 2 YEAR, 24 HOUR STORM EXCEED 4 FEET PER SECOND, AND WITHIN SWALES WHERE EROSION IS PRESENT, ALTERNATIVE EROSION AND SEDIMENT CONTROL PRACTICES MAY ALSO BE USED WITHIN SWALES (EROSION CONTROL BLANKETS, RIP RAP LINING, ETC.) IF APPROVED BY OWNER.
  - ADDITIONAL EROSION AND SEDIMENT CONTROLS, BEYOND WHAT IS DEPICTED ON THE SITE PLANS, MAY BE REQUIRED.



**SEDIMENT AND EROSION CONTROL LEGEND**

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (9 C-600)
- TEMPORARY GRAVEL ACCESS ROAD
- STABILIZED CONSTRUCTION ENTRANCE (3 C-600)
- DENOTES USACE WETLAND AREAS
- DENOTES USACE WETLAND BUFFER
- DENOTES FIXED KNOT FARM FENCE (9 C-601)
- FIXED TILT SOLAR PANEL BY OTHERS
- MEDIUM VOLTAGE TRENCH BY OTHERS (6 E-100)
- LOW VOLTAGE TRENCH BY OTHERS (5 E-100)
- PROPOSED CONTOUR (3 C-601)
- PERMANENT OVERLAND FLOW DISPERSION DEVICE (3 C-601)
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (5 C-601)
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS) (6 C-600)
- DENOTES CONCRETE WASHOUT AREA (6 C-600)
- DENOTES SILT FENCE (2 C-600)
- DENOTES CHECK DAM (4 C-600)



SHEET C-501  
SHEET C-502

**MUNICIPAL APPROVAL SITE PLANS FOR  
VINEYARDS 1 & VINEYARDS 2 SOLAR  
SOL SOURCE POWER**  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DATE	BY	REVISION
11/17/24	EDP	ISSUE FOR PERMIT
5/17/24	EDP	REVISED PER WSA COMMENTS
5/17/24	EDP	REVISED PER WSA COMMENTS

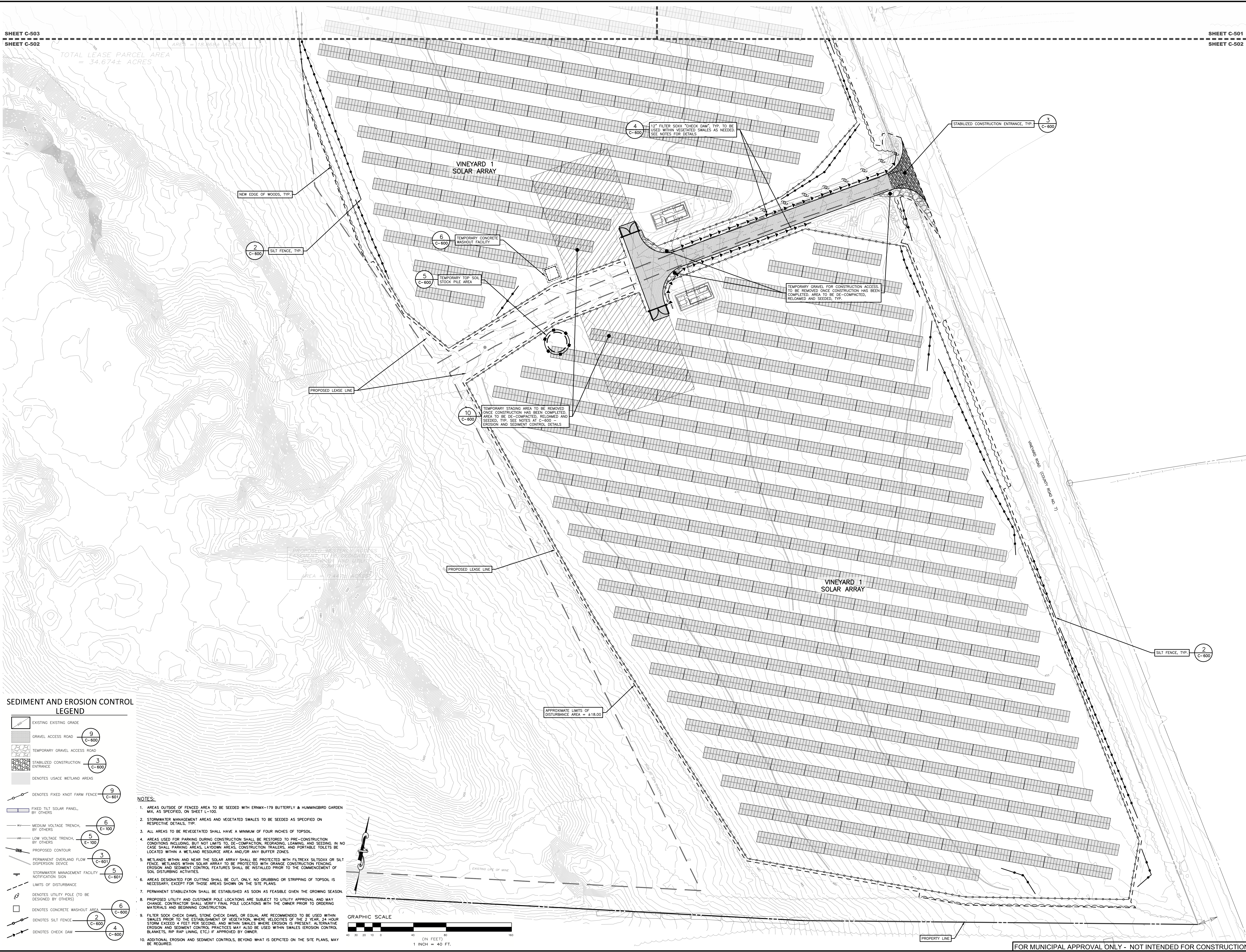
SCALE: **1" = 40'**

**NOT FOR CONSTRUCTION**

SHEET TITLE:  
**EROSION AND SEDIMENT CONTROL PLAN**

SHEET:  
**C-501**

TOTAL LEASE PARCEL AREA  
= 34.674± ACRES

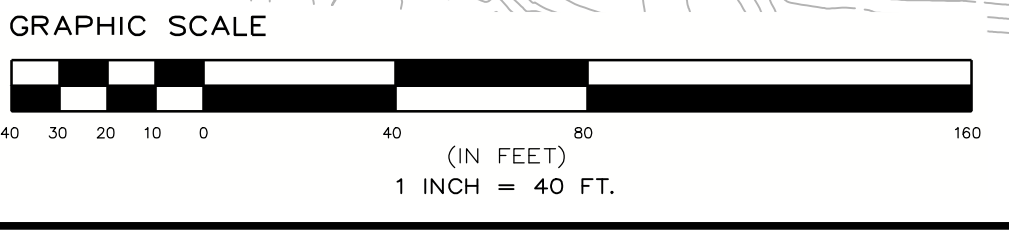


**SEDIMENT AND EROSION CONTROL LEGEND**

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (9 C-600)
- TEMPORARY GRAVEL ACCESS ROAD
- STABILIZED CONSTRUCTION ENTRANCE (3 C-600)
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- MEDIUM VOLTAGE TRENCH, BY OTHERS (6 E-100)
- LOW VOLTAGE TRENCH, BY OTHERS (5 E-100)
- PROPOSED CONTOUR
- PERMANENT OVERLAND FLOW DISPERSION DEVICE (3 C-601)
- STORMWATER MANAGEMENT FACILITY (5 C-601)
- NOTIFICATION SIGN
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)
- DENOTES CONCRETE WASHOUT AREA (6 C-600)
- DENOTES SILT FENCE (2 C-600)
- DENOTES CHECK DAM (4 C-600)

**NOTES:**

1. AREAS OUTSIDE OF FENCED AREA TO BE SEEDED WITH ERNXX-179 BUTTERFLY & HUMMINGBIRD GARDEN MIX, AS SPECIFIED, ON SHEET L-100.
2. STORMWATER MANAGEMENT AREAS AND VEGETATED SWALES TO BE SEED AS SPECIFIED ON RESPECTIVE DETAILS, TYP.
3. ALL AREAS TO BE REVEGETATED SHALL HAVE A MINIMUM OF FOUR INCHES OF TOPSOIL.
4. AREAS USED FOR PARKING DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS INCLUDING, BUT NOT LIMITED TO, DE-COMPACTION, REGRADING, LOAMING, AND SEEDING. IN NO CASE SHALL PARKING AREAS, LAYDOWN AREAS, CONSTRUCTION TRAILERS, AND PORTABLE TOILETS BE LOCATED WITHIN A WETLAND RESOURCE AREA AND/OR ANY BUFFER ZONES.
5. WETLANDS WITHIN AND NEAR THE SOLAR ARRAY SHALL BE PROTECTED WITH FILTERXX SILT/SOXX OR SILT FENCE. WETLANDS WITHIN SOLAR ARRAY TO BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. EROSION AND SEDIMENT CONTROL FEATURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SOIL DISTURBING ACTIVITIES.
6. AREAS DESIGNATED FOR CUTTING SHALL BE CUT, ONLY, NO GRUBBING OR STRIPPING OF TOPSOIL IS NECESSARY, EXCEPT FOR THOSE AREAS SHOWN ON THE SITE PLANS.
7. PERMANENT STABILIZATION SHALL BE ESTABLISHED AS SOON AS FEASIBLE GIVEN THE GROWING SEASON.
8. PROPOSED UTILITY AND CUSTOMER POLE LOCATIONS ARE SUBJECT TO UTILITY APPROVAL AND MAY CHANGE. CONTRACTOR SHALL VERIFY FINAL POLE LOCATIONS WITH THE OWNER PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
9. FILTER SOXX CHECK DAMS, STONE CHECK DAMS, OR EQUAL ARE RECOMMENDED TO BE USED WITHIN SWALES PRIOR TO THE ESTABLISHMENT OF VEGETATION, WHERE VELOCITIES OF THE 2 YEAR, 24 HOUR STORM EXCEED 4 FEET PER SECOND, AND WITHIN SWALES WHERE EROSION IS PRESENT. ALTERNATIVE EROSION AND SEDIMENT CONTROL PRACTICES MAY ALSO BE USED WITHIN SWALES (EROSION CONTROL BLANKETS, RIP RAP LINING, ETC.) IF APPROVED BY OWNER.
10. ADDITIONAL EROSION AND SEDIMENT CONTROLS, BEYOND WHAT IS DEPICTED ON THE SITE PLANS, MAY BE REQUIRED.



**MUNICIPAL APPROVAL SITE PLANS FOR  
VINEYARDS 1 & VINEYARDS 2 SOLAR  
SOL SOURCE POWER**  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DRAWN BY	FR
CHECKED BY	DM
PER PROJECT NUMBER	14011

THE PRESENCE OF THESE DOCUMENTS DOES NOT CONSTITUTE AN ENDORSEMENT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER OF THESE DOCUMENTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REVISION	DATE	BY
ISSUED FOR PERMITS	5/17/24	FR
ISSUED FOR PERMITS	5/17/24	FR

SCALE: 1" = 40'

NOT FOR CONSTRUCTION

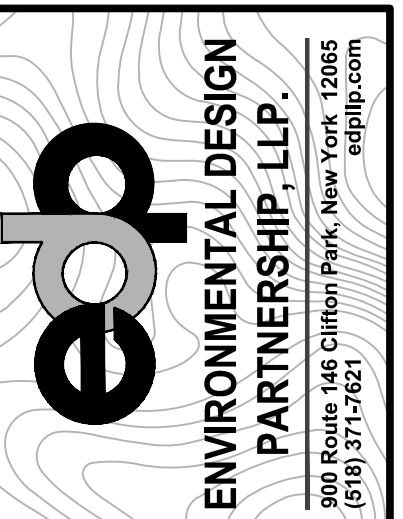
SHEET TITLE:  
EROSION AND SEDIMENT CONTROL PLAN

SHEET:  
C-502

NOTES:

- AREAS OUTSIDE OF FENCED AREA TO BE SEEDED WITH ERNMX-179 BUTTERFLY & HUMMINGBIRD GARDEN MIX, AS SPECIFIED, ON SHEET L-100.
- STORMWATER MANAGEMENT AREAS AND VEGETATED SWALES TO BE SEEDED AS SPECIFIED ON RESPECTIVE DETAILS, TYP.
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- WETLANDS WITHIN AND NEAR THE SOLAR ARRAY SHALL BE PROTECTED WITH FILTERRY SILTSOCKS OR SILT FENCE. WETLANDS WITHIN SOLAR ARRAY TO BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. EROSION AND SEDIMENT CONTROL FEATURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SOIL DISTURBING ACTIVITIES.
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- PROPOSED UTILITY AND CUSTOMER POLE LOCATIONS ARE SUBJECT TO UTILITY APPROVAL AND MAY CHANGE. CONTRACTOR SHALL VERIFY FINAL POLE LOCATIONS WITH THE OWNER PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
- FILTER SOCK CHECK DAMS, STONE CHECK DAMS, OR EQUAL ARE RECOMMENDED TO BE USED WITHIN SWALES PRIOR TO THE ESTABLISHMENT OF VEGETATION, WHERE VELOCITIES OF THE 2 YEAR, 24 HOUR STORM EXCEED 4 FEET PER SECOND, AND WITHIN SWALES WHERE EROSION IS PRESENT. ALTERNATIVE EROSION AND SEDIMENT CONTROL PRACTICES MAY ALSO BE USED WITHIN SWALES (EROSION CONTROL BLANKETS, RIP RAP LINING, ETC.) IF APPROVED BY OWNER.
- ADDITIONAL EROSION AND SEDIMENT CONTROLS, BEYOND WHAT IS DEPICTED ON THE SITE PLANS, MAY BE REQUIRED.

SHEET C-501  
SHEET C-503



TAX MAP No. 128-1-4-23.111  
FEBRUARY 09, 2024

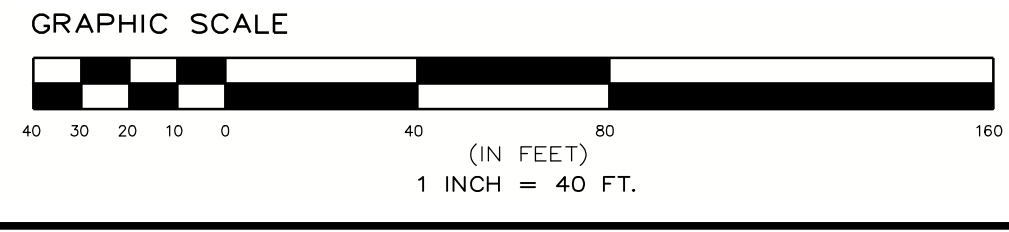
MUNICIPAL APPROVAL SITE PLANS FOR  
**VINEYARDS 1 & VINEYARDS 2 SOLAR**  
SOL SOURCE POWER  
757 VINEYARD ROAD  
TOWN OF CROWIN POINT  
ESSEX COUNTY, NEW YORK

DESIGNED BY	DATE
CHECKED BY	DATE
PROJECT NUMBER	14031
<small>THE INFORMATION ON THESE DOCUMENTS IS NOT TO BE USED FOR ANY OTHER PROJECTS OR PURPOSES. THE USER OF THESE DOCUMENTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.</small>	
REVISION	DATE
REVISION #1 WITH COMMENTS	5/17/24
REVISION #2 WITH COMMENTS	5/17/24



SEDIMENT AND EROSION CONTROL LEGEND

- EXISTING EXISTING GRADE
- GRAVEL ACCESS ROAD (9 C-600)
- TEMPORARY GRAVEL ACCESS ROAD
- STABILIZED CONSTRUCTION ENTRANCE (3 C-600)
- DENOTES USACE WETLAND AREAS
- DENOTES FIXED KNOT FARM FENCE (9 C-601)
- FIXED TILT SOLAR PANEL, BY OTHERS
- MEDIUM VOLTAGE TRENCH, BY OTHERS (6 E-100)
- LOW VOLTAGE TRENCH, BY OTHERS (5 E-100)
- PROPOSED CONTOUR
- PERMANENT OVERLAND FLOW DISPERSION DEVICE (3 C-601)
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (5 C-601)
- LIMITS OF DISTURBANCE
- DENOTES UTILITY POLE (TO BE DESIGNED BY OTHERS)
- DENOTES CONCRETE WASHOUT AREA (6 C-600)
- DENOTES SILT FENCE (2 C-600)
- DENOTES CHECK DAM (4 C-600)



SHEET C-503  
SHEET C-502

TOTAL LEASE PARCEL AREA = 34.6741 ACRES

FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION

SCALE: 1" = 40'  
NOT FOR CONSTRUCTION  
SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN  
SHEET: C-503

**EROSION AND SEDIMENT CONTROL AND STABILIZATION MEASURES, MAINTENANCE AND INSPECTION PRACTICES:**

- THE FOLLOWING IS A LIST OF EROSION AND SEDIMENT CONTROLS TO BE USED ON THIS SITE DURING CONSTRUCTION:
  - STABILIZATION PRACTICES FOR THIS SITE INCLUDE:
    - LAND CLEARING ACTIVITIES SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND SHALL PROGRESS AS EARTHWORK IS NEEDED.
    - FREQUENT WATERING OF EXCAVATION AND FILL AREAS TO MINIMIZE WIND EROSION DURING CONSTRUCTION.
    - USE OF STABILIZATION FABRIC FOR ALL SLOPES HAVING A SLOPE OF 1V:2H OR GREATER AND FILL SLOPES 1V:2H OR GREATER.
    - PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
  - STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:
    - PERIMETER PROTECTION USING SILT FENCES
    - INLET PROTECTION AND OUTLET PROTECTION USING SILT FENCES
    - STORM SEWER, CURBS AND GUTTERS
    - STABILIZED CONSTRUCTION EXIT POINTS
    - STORMWATER DETENTION PONDS (WHICH MAY ALSO SERVE AS A TEMPORARY SEDIMENT BASIN)
- THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES:
  - ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY.
  - ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF REPAIRS ARE FOUND TO BE NECESSARY, THEY WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
  - BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCES / STRAW BARRIERS WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
  - SILT FENCES / STRAW BARRIERS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE SECURE IN THE GROUND.
  - THE SEDIMENT BASIN, IF PRESENT, WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 50 PERCENT OF THE DESIGN CAPACITY.
  - TEMPORARY AND PERMANENT SEEDING AND ALL OTHER STABILIZATION MEASURES WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
  - A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORT FORMS TO BE COMPLETED BY THE INSPECTOR ARE INCLUDED IN THIS SWPPP.
  - THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SELECTING AND TRAINING THE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR THESE INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT INSPECTION AND MAINTENANCE REPORTS.
  - PERSONNEL SELECTED AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE APPROPRIATE INSTRUCTION FROM THE JOB SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS THAT ARE USED ON-SITE IN GOOD WORKING ORDER. THEY WILL ALSO BE TRAINED IN THE COMPLETION OF, INITIATION OF ACTIONS REQUIRED BY, AND THE FILING OF THE INSPECTION FORMS. DOCUMENTATION OF THIS PERSONNEL TRAINING WILL BE KEPT ON-SITE WITH THE SWPPP.
  - VEHICULAR ACCESS POINTS AND MATERIALS STORAGE AREAS WILL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING STORMWATER SYSTEMS.
  - REPORT TO THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION WITHIN 24 HOURS ANY NONCOMPLIANCE THAT WILL ENDANGER PUBLIC HEALTH OR THE ENVIRONMENT AS REQUIRED. FOLLOW UP WITH A WRITTEN REPORT WITHIN 5 DAYS OF THE NONCOMPLIANCE EVENT.

**ADDITIONAL EROSION CONTROL AND GRADING NOTES:**

- MINIMAL EROSION CONTROL DEVICES ARE ILLUSTRATED ON SITE PLAN IN A SCHEMATIC MANNER BASED ON NY STATE GUIDELINES FOR EROSION AND SEDIMENT CONTROL. IT WILL BE NECESSARY TO ADJUST THE ACTUAL LOCATION AND QUANTITY OF EROSION CONTROL DEVICES DEPENDING UPON FIELD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THESE MEASURES AS REQUIRED TO PROTECT THE SITE.**
- SLOPES SHALL TYPICALLY BE GRADED AT A MAXIMUM OF 3:1 (3 HORIZ. 1 VERT.) WITHIN ALL CUT OR FILL AREAS, UNLESS OTHERWISE DESIGNATED ON PLANS.
- SEED SHALL BE A COMMERCIALY AVAILABLE MIXTURE OF PERENNIAL RYE AND UTILITY GRADE FESCUE; PERCENTAGE OF PERENNIAL RYE SHALL NOT EXCEED 50%.
- SEEDED AREAS SHALL BE FULLY COVERED WITH A LEAN STRAW OR MULCH MATERIAL. IF ORDERED BY THE ENGINEER OR MUNICIPALITY, A BIODEGRADABLE NETTING (E.G., EXCESSOR BLANKET, COIR GEOTEXTILE) SHALL BE ANCHORED OVER SEEDED AREAS WHICH DEMONSTRATE "RILLING" OR OTHER EROSION PROBLEMS.
- TOPSOIL AND SEED SHALL BE REAPPLIED TO ANY AREAS WHICH FAIL TO ESTABLISH AS A RESULT OF INITIAL APPLICATION.
- SILT FENCE BARRIERS SHALL BE PLACED WITHIN ALL AREAS OF EXPOSED SLOPES TO CONTROL SOIL EROSION DURING AND AFTER CONSTRUCTION.
- ALL STORM OUTFALLS SHALL RECEIVE RIP RAP IMMEDIATELY UPON INSTALLATION (AS PER PLAN).
- EROSION CONTROL (ERO-MAT) OR APPROVED EQUAL, SHALL BE INSTALLED ON ALL 2:1 SLOPES: AN ORGANIC FIBER PROTECTIVE MAT, HALF INCH LAYER OF CHOPPED STRAW, KNITTED INTO A RUGGED MAT WITH A THIN NETTING OF PHOTODEGRADABLE POLYPROPYLENE. SECURE MAT TO SLOPE WITH #7 STEEL U-SHAPED STAPLES, 2 STAPLES PER SQUARE YARD, OR AS PER MANUFACTURER'S INSTRUCTIONS.
- STREAM REACHES ON-SITE AND DOWNSTREAM OF CONSTRUCTION SHALL NOT HAVE SUBSTANTIAL VISIBLE CONTRAST RELATIVE TO COLOR, TASTE, ODOR, TURBIDITY AND SEDIMENT DEPOSITION FROM THE REACHES UPSTREAM OF THE CONSTRUCTION ACTIVITY.
- VEHICULAR ACCESS POINTS SHALL BE MONITORED AND INSPECTED AT THE SAME FREQUENCY AS EROSION CONTROL FEATURES TO INSURE THAT DEPOSITS OF SAND, SILT OR OTHER MATERIAL IS NOT BEING DEPOSITED ON PUBLIC ROADWAYS. IN THE EVENT ANY SIGNIFICANT DEPOSITS OCCUR THEY SHALL BE CLEANED UP IMMEDIATELY.
- KEEP ALL CONSTRUCTION EQUIPMENT, TOPSOIL STOCKPILES AND ANY TEMPORARY/PERMANENT GRAVEL AREAS OFF FUTURE SEPTIC AREAS.

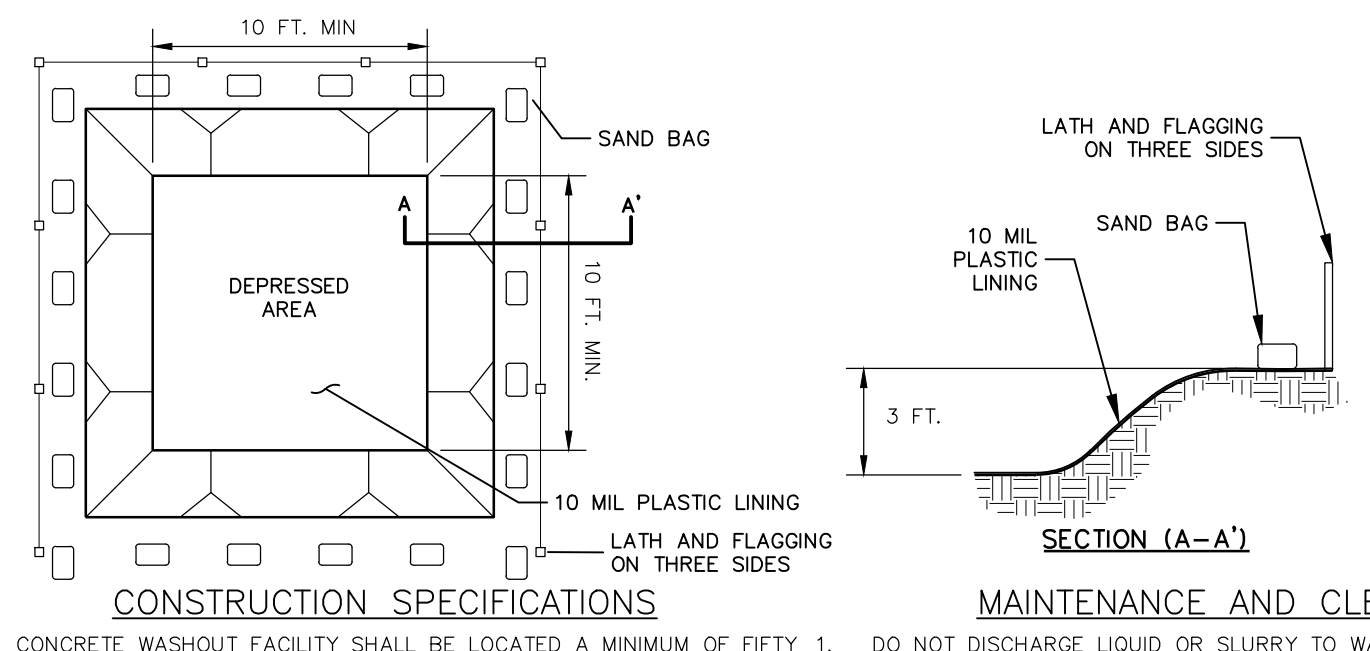
**SITES LOCATED WITHIN AGRICULTURAL DISTRICTS THE NEW YORK STATE DEPARTMENT OF AGRICULTURE AND MARKETS CONSTRUCTION REQUIREMENTS ALSO APPLY.**

**SEQUENCE OF CONSTRUCTION ACTIVITIES:**

- SITE TO BE MOBILIZED.
- EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN CONJUNCTION WITH ANY BRUSH OR TREE CLEARING REQUIRED. NOTE: EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH SHEETS C-300 TO C-303 ASSOCIATED DETAILS AS WELL AS NYS DEC CONSTRUCTION GENERAL PERMIT #GP-0-20-001. IN ANY INSTANCE THAT A CONFLICT BETWEEN THESE TWO GUIDELINES IS PRESENT, THE MORE CONSERVATIVE GUIDELINE TAKES PRECEDENT.
- CLEARING AND GRUBBING OPERATIONS CREW SHALL CHIP AND MULCH DIRECTLY BEHIND OPERATION TO MAKE SURE NO AREAS ABOVE FIVE ACRES SHALL BE DISTURBED AT ANY TIME. NO MORE THAN FIVE ACRES SHALL BE DISTURBED AT ONE TIME WITHOUT PRIOR APPROVAL FROM NYSDEC.
- INSTALLATION OF ACCESS ROAD TO COMMENCE; NOTE: ANY AREAS OF DISTURBANCE SHALL BE STABILIZED WITH TEMPORARY SEEDING PER THE REQUIRED TIMELINES AS PER NYS DEC CONSTRUCTION GENERAL PERMIT #GP-0-20-001.
- MY TRENCHES AND FOUNDATIONS INSTALLATION IN CONJUNCTION WITH THE PLACEMENT OF CONCRETE FOUNDATIONS FOR THE ELECTRICAL EQUIPMENT PADS TO COMMENCE.
- WATERING OF THE EXCAVATION AND FILL AREAS SHALL BE DONE TO MINIMIZE WIND EROSION AS NEEDED THROUGHOUT CONSTRUCTION.
- RACKING, TABLES, MODULES, INVERTERS AND ELECTRICAL EQUIPMENT INSTALLATION TO COMMENCE.
- REMOVE LAYDOWN AREA, SPREAD GRAVEL ON ROADWAY, AND SEED AREAS.
- FINAL SITE STABILIZATION TO COMMENCE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE REMOVED ONCE BOX VEGETATIVE COVER HAS BEEN ACHIEVED, REMOVE FILTER SOCKS, STABILIZED CONSTRUCTION ENTRANCES, AND OTHER TEMPORARY EROSION AND SEDIMENT CONTROLS. ANY RESULTING AREAS OF DISTURBANCE FROM SAND REMOVAL TO BE SEEDED PRIOR TO DEMOBILIZATION.
- SITE TO BE DEMOBILIZED.

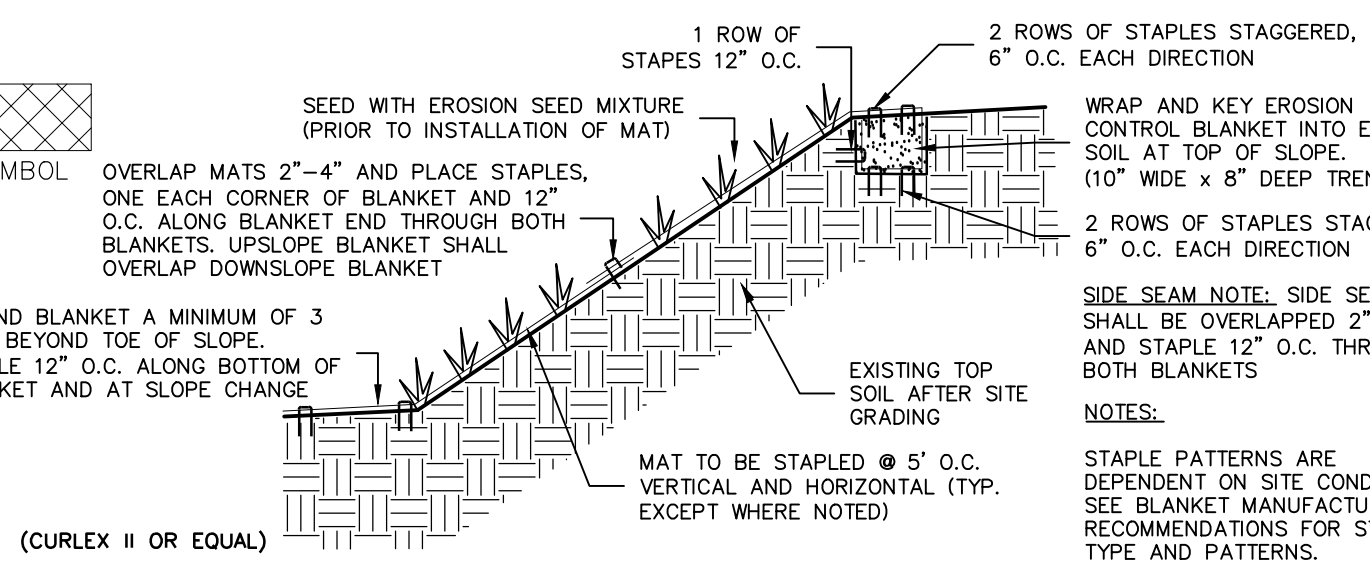
**SOIL RESTORATION:**

- AS PER CHAPTER 5 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, SOIL RESTORATION IS REQUIRED ON THIS SITE IN ALL NON-IMPERVIOUS AREAS ONCE FINAL SUBGRADE ELEVATION IS ACHIEVED. IN AREAS OF CUT OR FILL, THE SOILS SHALL BE AERATED AND 6 INCHES OF TOPSOIL SHALL BE APPLIED. IN AREAS OF HEAVY CONSTRUCTION TRAFFIC (ESPECIALLY IN AREAS 5 TO 25 FEET FROM BUILDING), BUT NOT WITHIN 5 FEET OF FOUNDATION WALLS) THE FOLLOWING RESTORATION MUST BE APPLIED:
- APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
  - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING AND CIRCULATING AIR AND COMPOST INTO SOIL.
  - ROCK-PILE UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4 INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
  - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
  - VEGETATE AS REQUIRED BY APPROVED PLAN.

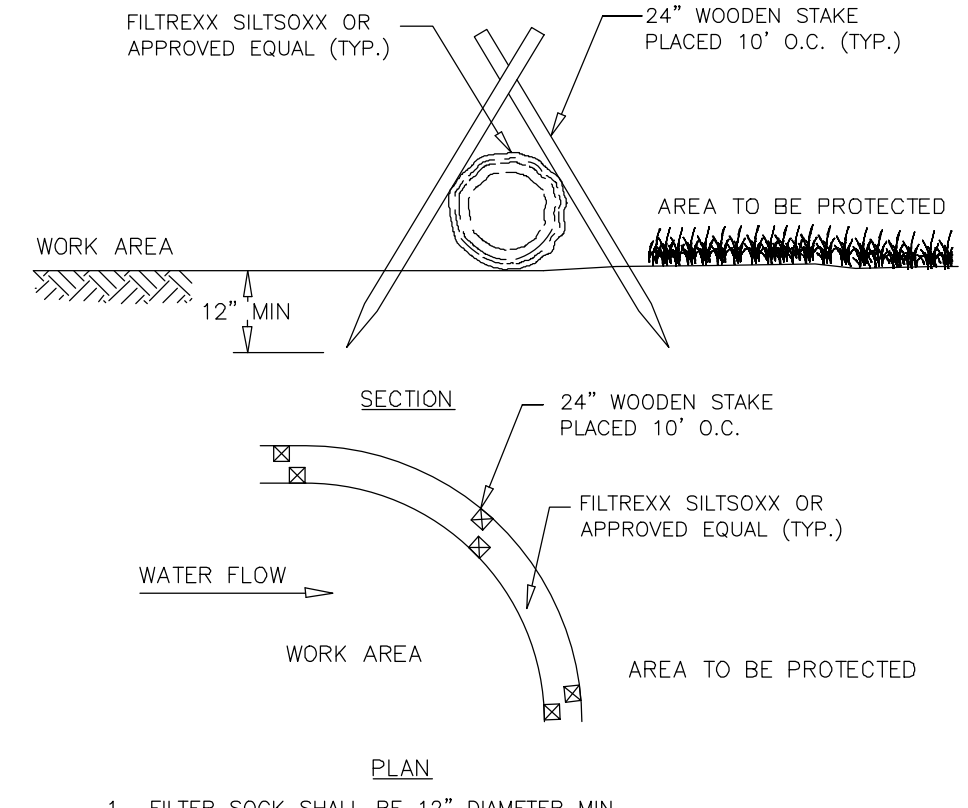


- CONSTRUCTION SPECIFICATIONS**
- CONCRETE WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF FIFTY (50) FEET FROM SENSITIVE AREAS.
  - THE BASIN DIMENSIONS SPECIFIED ABOVE ARE REQUIRED MINIMUMS.
  - CONCRETE WASHOUT FACILITY SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. (APPROXIMATELY 60 GALLONS OF WASTE AND WATER PER TRUCK)
  - PLASTIC LINING MATERIAL SHALL BE A MINIMUM 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS 5' THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
  - WASHOUT FACILITY MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
- MAINTENANCE AND CLEANING**
- DO NOT DISCHARGE LIQUID OR SLURRY TO WATERWAYS, STORM DRAINS OR DIRECTLY ONTO GROUND.
  - DO NOT USE SANITARY SEWER WITHOUT LOCAL APPROVAL.
  - PLACE A SECURE NON COLLAPSING, NON-WATER COLLECTING COVER OVER THE FACILITY PRIOR TO PREDICTED WET WEATHER TO PREVENT ACCUMULATION AND OVERFLOW.
  - REMOVE AND DISPOSE OF HARDEN CONCRETE AND RETURN THE STRUCTURE TO A FUNCTIONAL STATE.
  - INSPECT THE WASHOUT FACILITY FOR SIGNS OF WEAKENING OR DAMAGE AND REPAIR AS NECESSARY (RELINE THE STRUCTURE WITH NEW POLY SHEETING AFTER EACH CLEANING).

**6 CONCRETE WASHOUT FACILITY**  
C-600 NOT TO SCALE



**7 EROSION CONTROL BLANKET**  
C-600 NOT TO SCALE



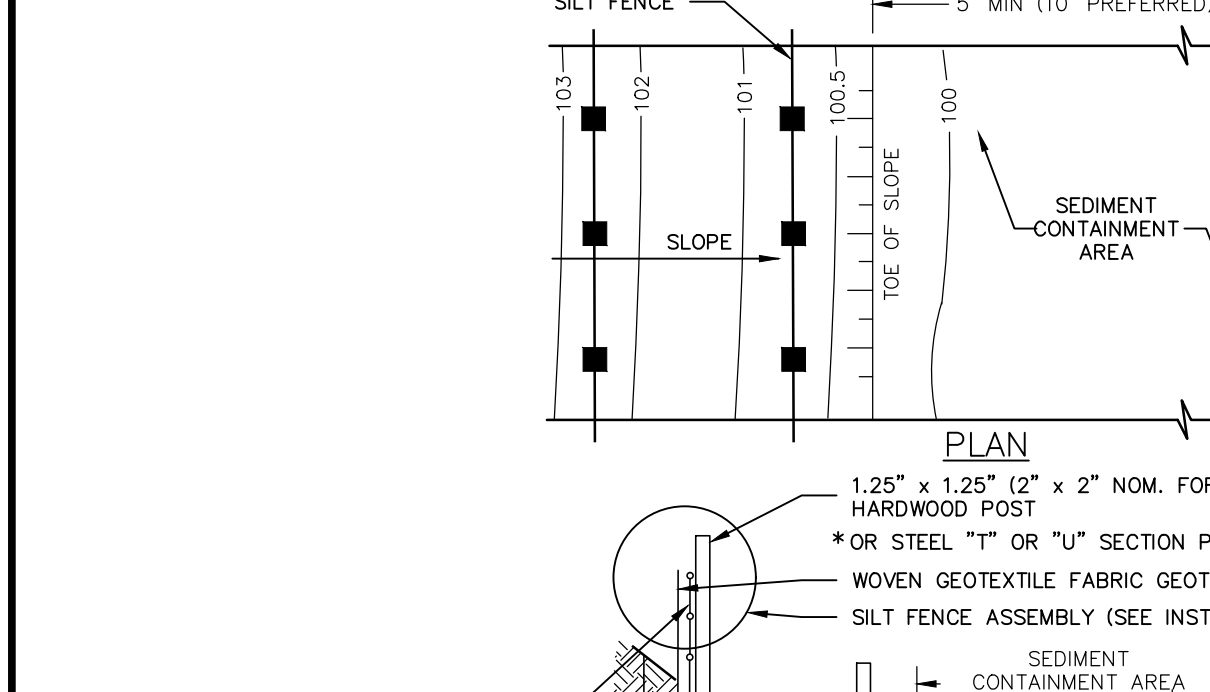
**8 12 IN. FILTER SOCK**  
C-600 NOT TO SCALE

**1 EROSION CONTROL NOTES**  
C-600 NOT TO SCALE

**SILT FENCE GENERAL NOTES:**

- SILT FENCE SHALL BE PLACED A MINIMUM OF 5 FT. FROM TOE OF SLOPE, 10 FT. PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
- POSTS MAY BE 1.25" x 1.25" (MINIMUM) HARDWOOD, TYPICALLY FOR WIRE MESH BACK USE 2"x2" NOM. HARDWOOD, OR STEEL 1" OR 1 1/2" POSTS (1 1/2" DIA. MIN.). SILT FENCE SHALL BE WOVEN GEOTEXTILE FABRIC (GEOTEX 2130 OR EQUAL).
- SILT FENCE ASSEMBLY MAY HAVE 4 FT. OR 6 FT. POST SPACING AND MAY OR MAY NOT HAVE MESH REINFORCEMENT. SENSITIVE AREAS TO BE PROTECTED MAY NEED TO BE REINFORCED BY USING HEAVY WIRE FENCING FOR ADDED SUPPORT TO PREVENT COLLAPSE.
- THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 6" BELOW GROUND. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC.
- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTE RUPKITT TO A SILT FENCE PLACED ON A SLOPE ARE:

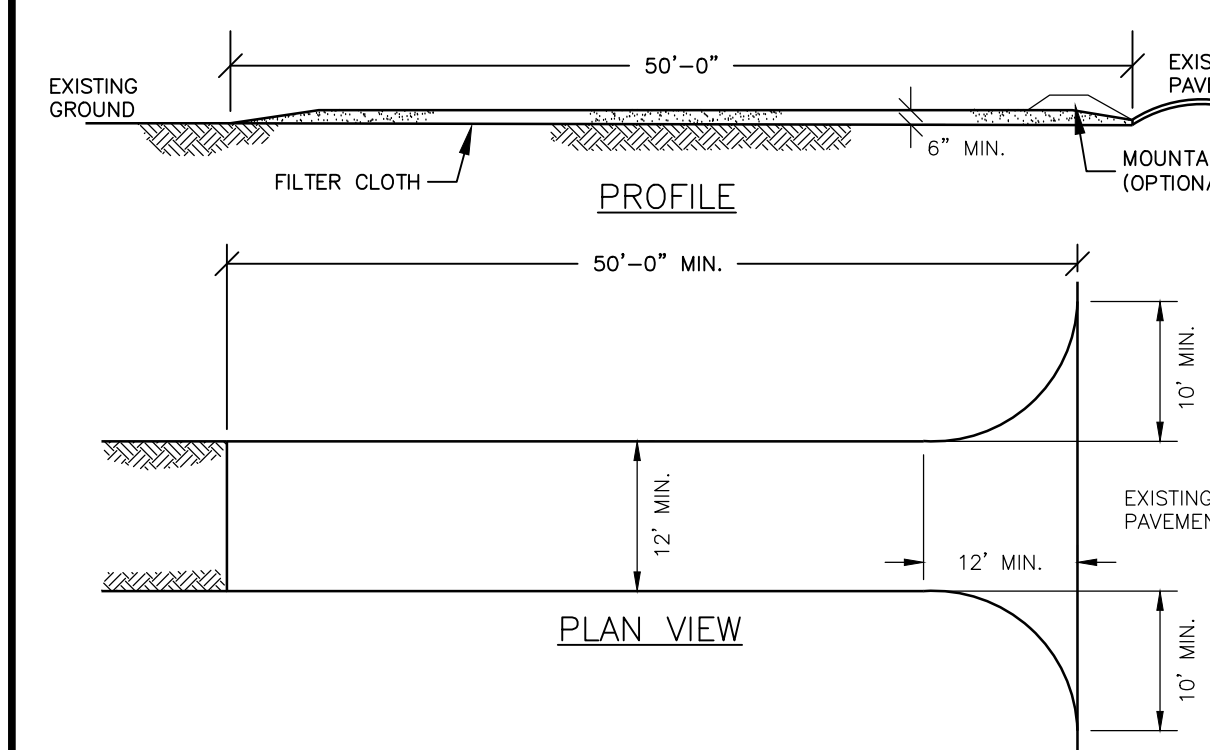
SLOPE STEEPNESS	MAXIMUM LENGTH (FT.)
2:1	50
3:1	75
4:1	100
5:1 OR FLATTER	100



**SILT FENCE INSTALLATION NOTES:**

- GEOTEXTILE FABRIC AND WOVEN WIREMESH TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIE SPACES EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE INTERLAPPED SIX INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

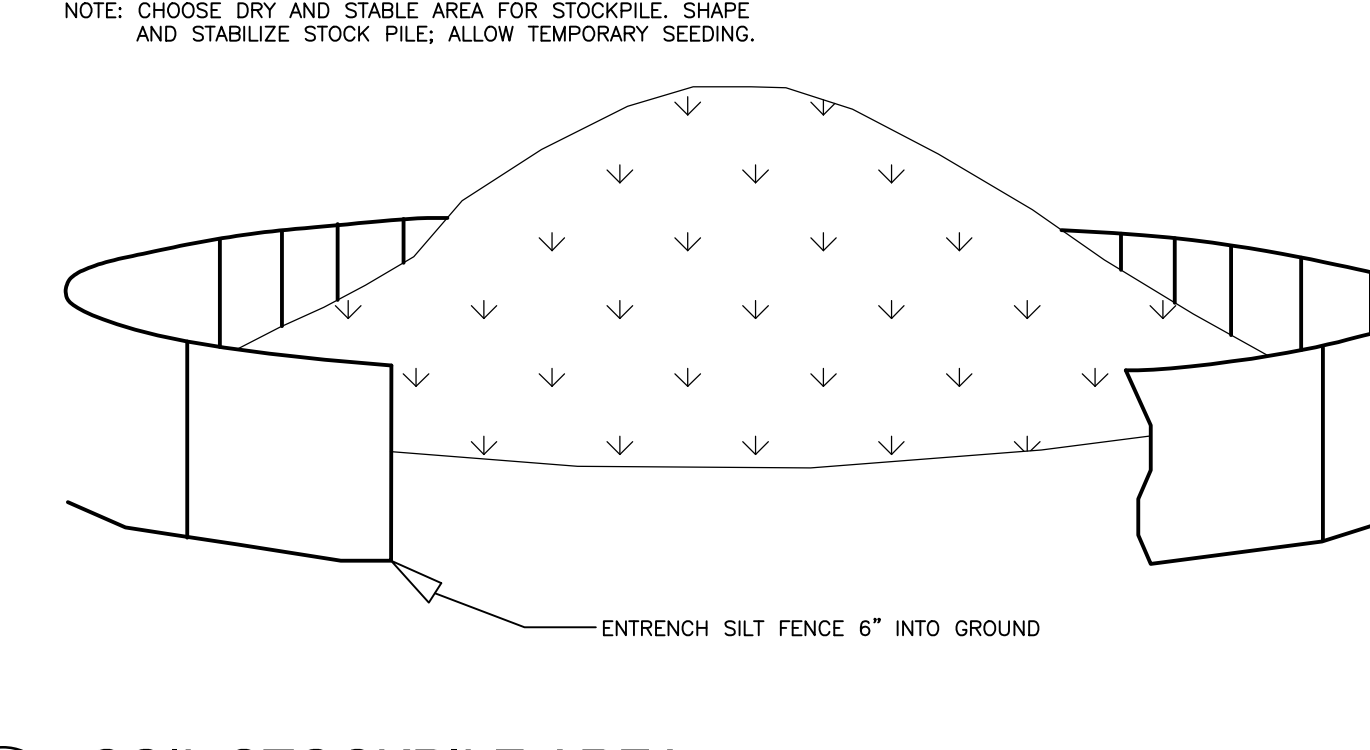
**2 SILT FENCE**  
C-600 NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" CRUSHED STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX(6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS; TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH WILL BE PLACED OVER ENTIRE AREA PRIOR TO PLACING STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL BARBERS OR OTHER APPROVED METHODS.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**3 STABILIZED CONSTRUCTION ENTRANCE**  
C-600 NOT TO SCALE

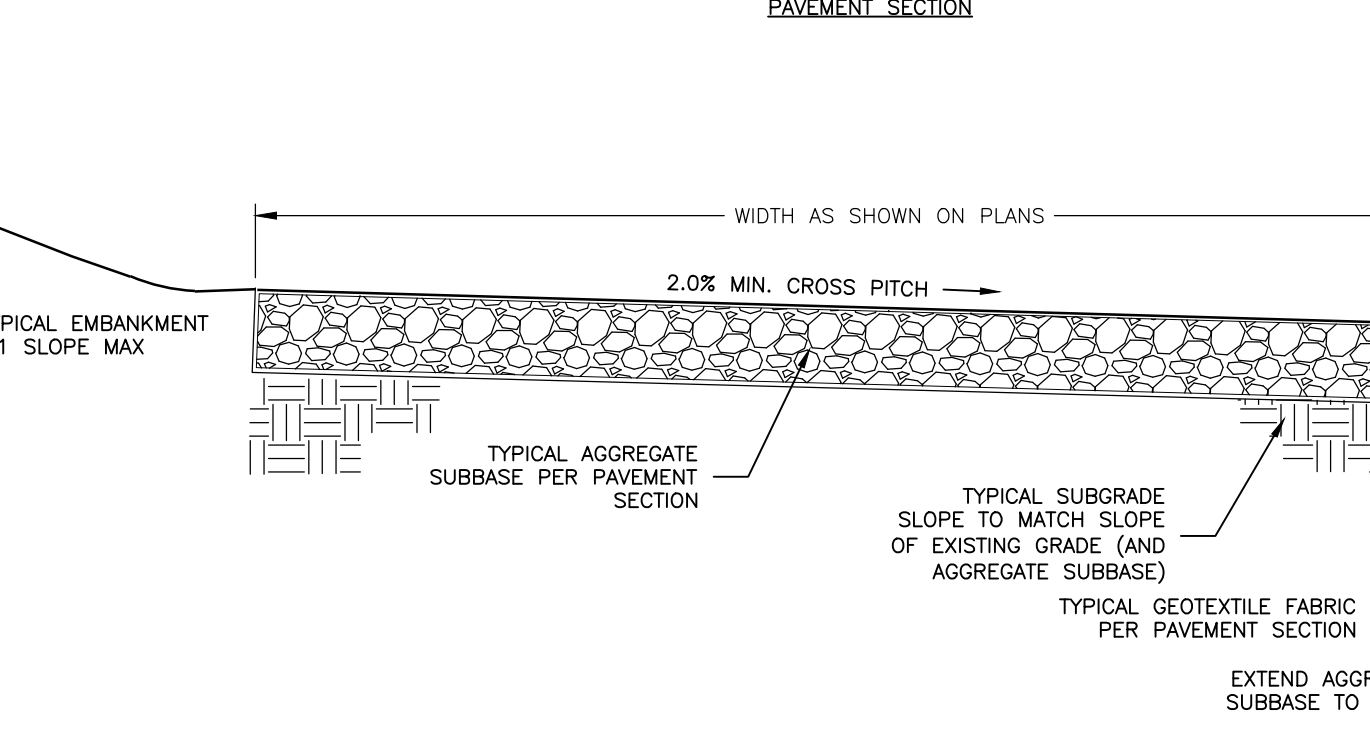
**4 CHECK DAM**  
C-600 NOT TO SCALE



**5 SOIL STOCKPILE AREA**  
C-600 NOT TO SCALE

**NOTES:**

- IF UNSTABLE SUBGRADE IS ENCOUNTERED DURING CONSTRUCTION ENGINEER MUST BE NOTIFIED IMMEDIATELY.
- SUBGRADE MUST BE PROOF-ROLLED PRIOR TO PLACEMENT OF CRUSHED STONE.
- PAVEMENT DESIGN IS PRELIMINARY IN NATURE. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, CONTRACTOR TO VERIFY PAVEMENT DESIGN WITH GEOTECHNICAL REPORT.



**6 PERMANENT GRAVEL ACCESS ROAD DETAILS**  
C-600 NOT TO SCALE

**NOTES:**

- CONSTRUCTION STAGING AREA TO BE 8" GRAVEL COURSE, WELL GRADED, WELL COMPACTED, TO CONFORM TO NYS DOT ITEM NO. 304.05 TYPE, MIN. COMPACTION 90% MODIFIED PROCTOR OR 8" CRUSHED STONE COURSE, WELL GRADED, WELL COMPACTED, TO CONFORM TO NYS DOT ITEM NO. 304.03 TYPE, 2 MIN. COMPACTION 90% MODIFIED PROCTOR.
- SUBGRADE MUST BE PROOF-ROLLED PRIOR TO PLACEMENT OF CRUSHED STONE.
- WELL COMPACTED SUBGRADE MIN. COMPACTION 90% MODIFIED PROCTOR
- WOVEN CONSTRUCTION FABRIC TO BE A.O.B.E. PROPEX GEOTEX 315ST OR EQUAL.
- TEMPORARY STAGING AREA TO BE INSTALLED WITHOUT DISTURBANCE TO EXISTING GROUND.

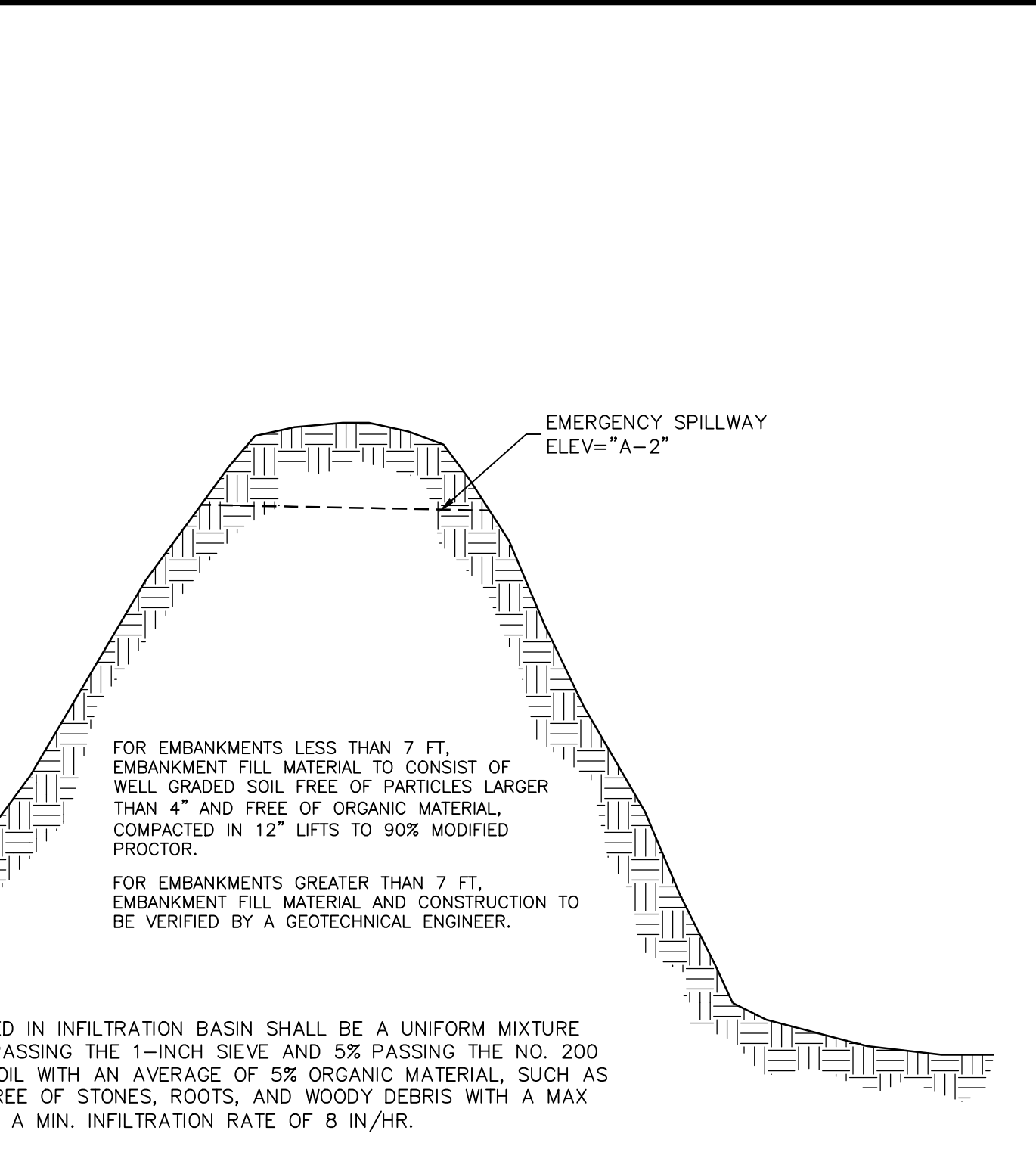
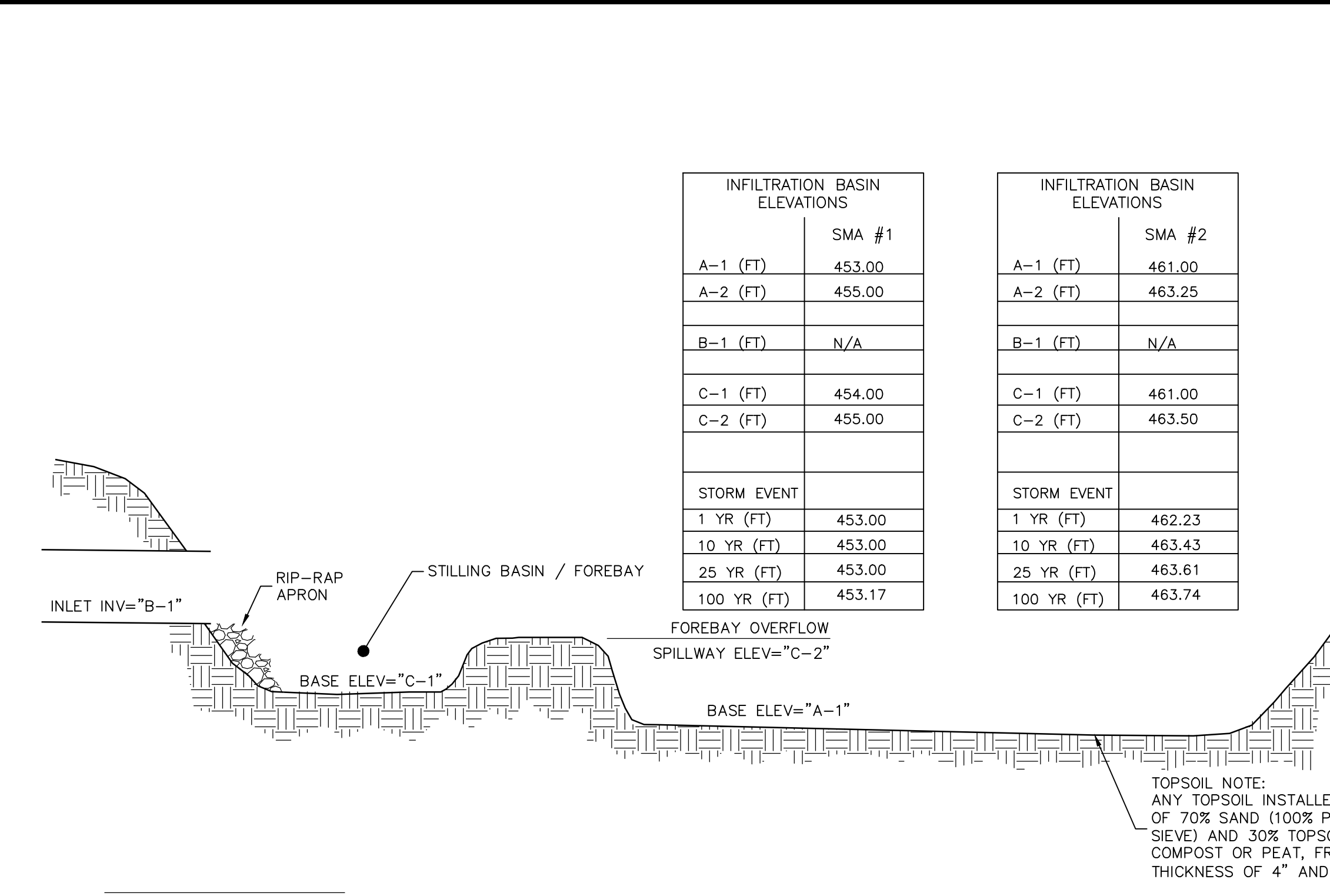
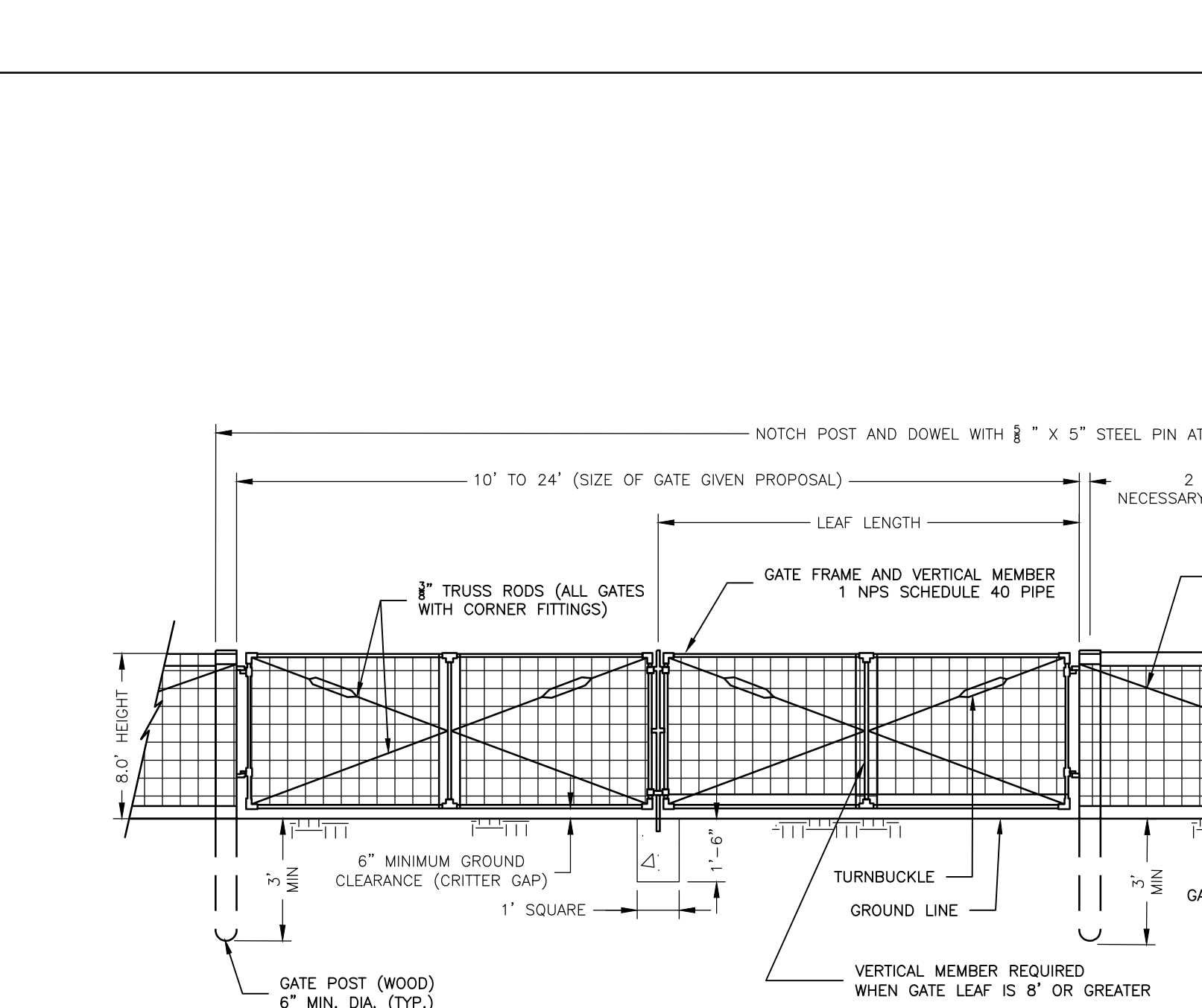
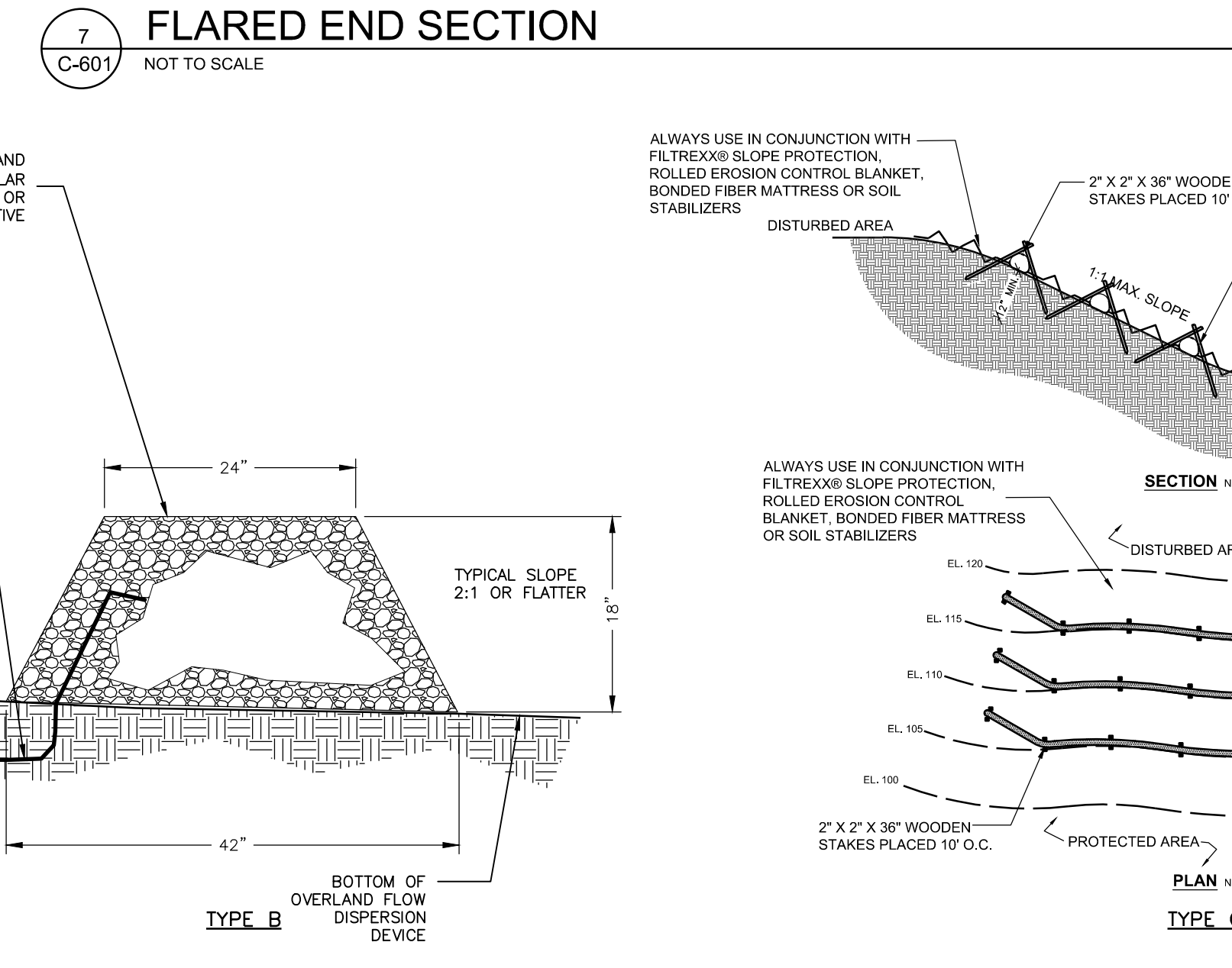
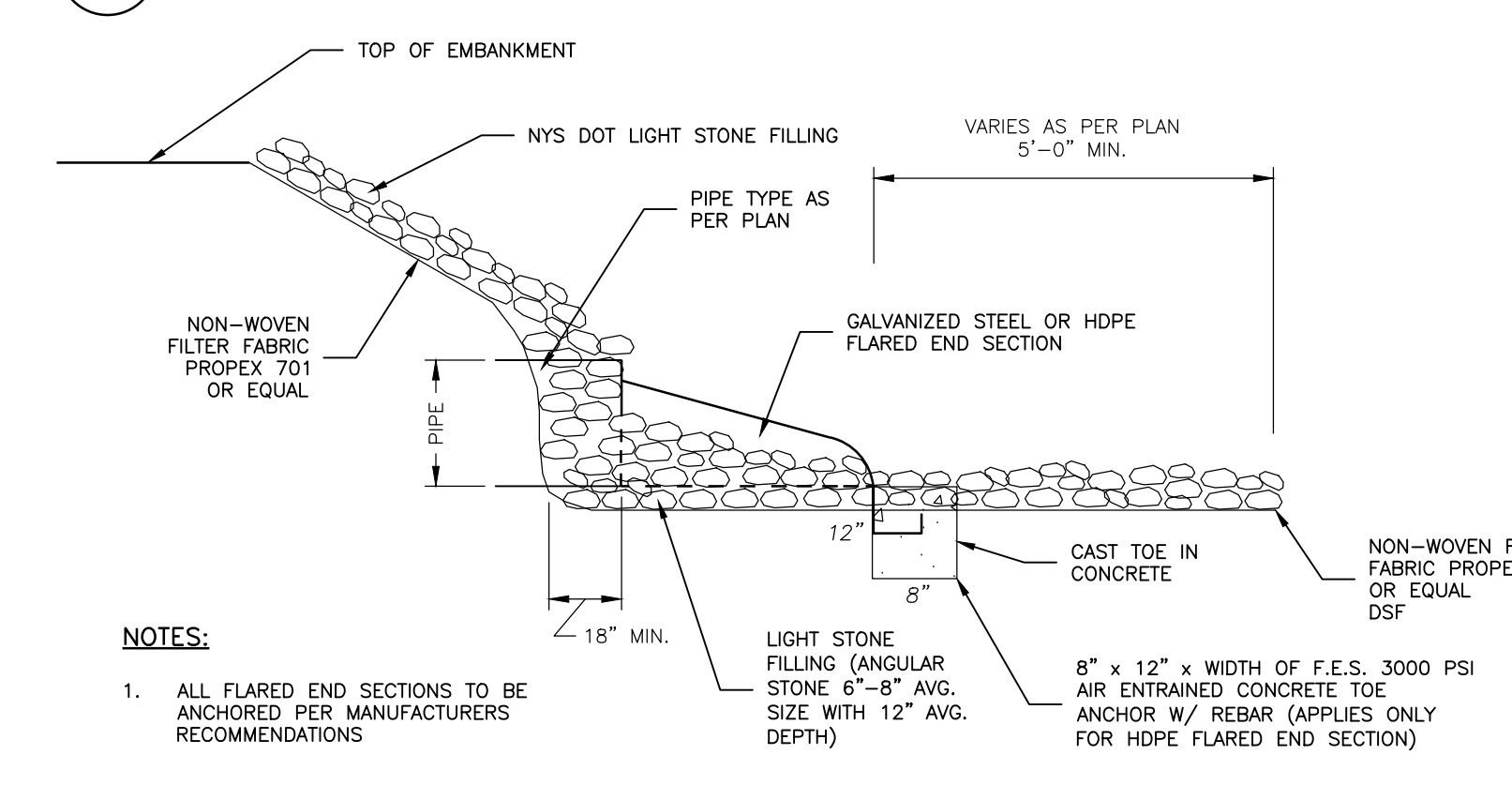
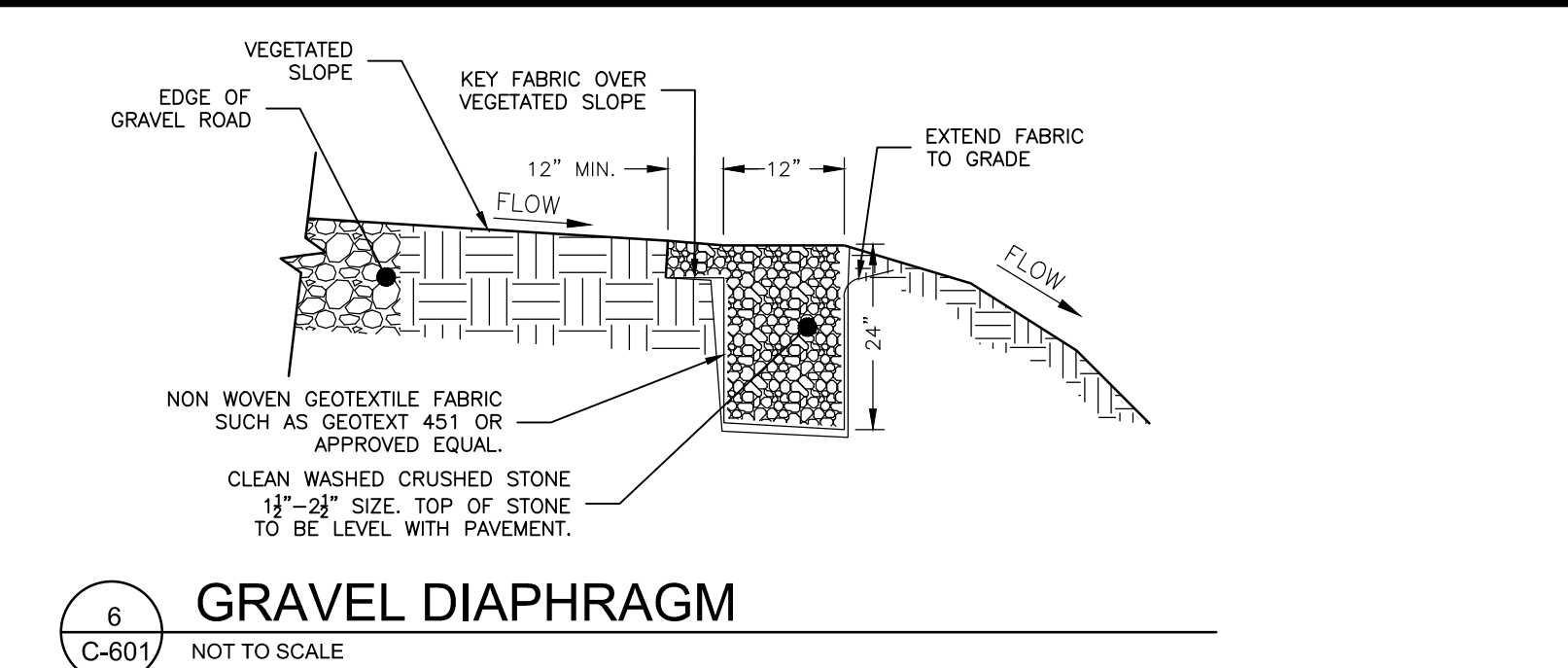
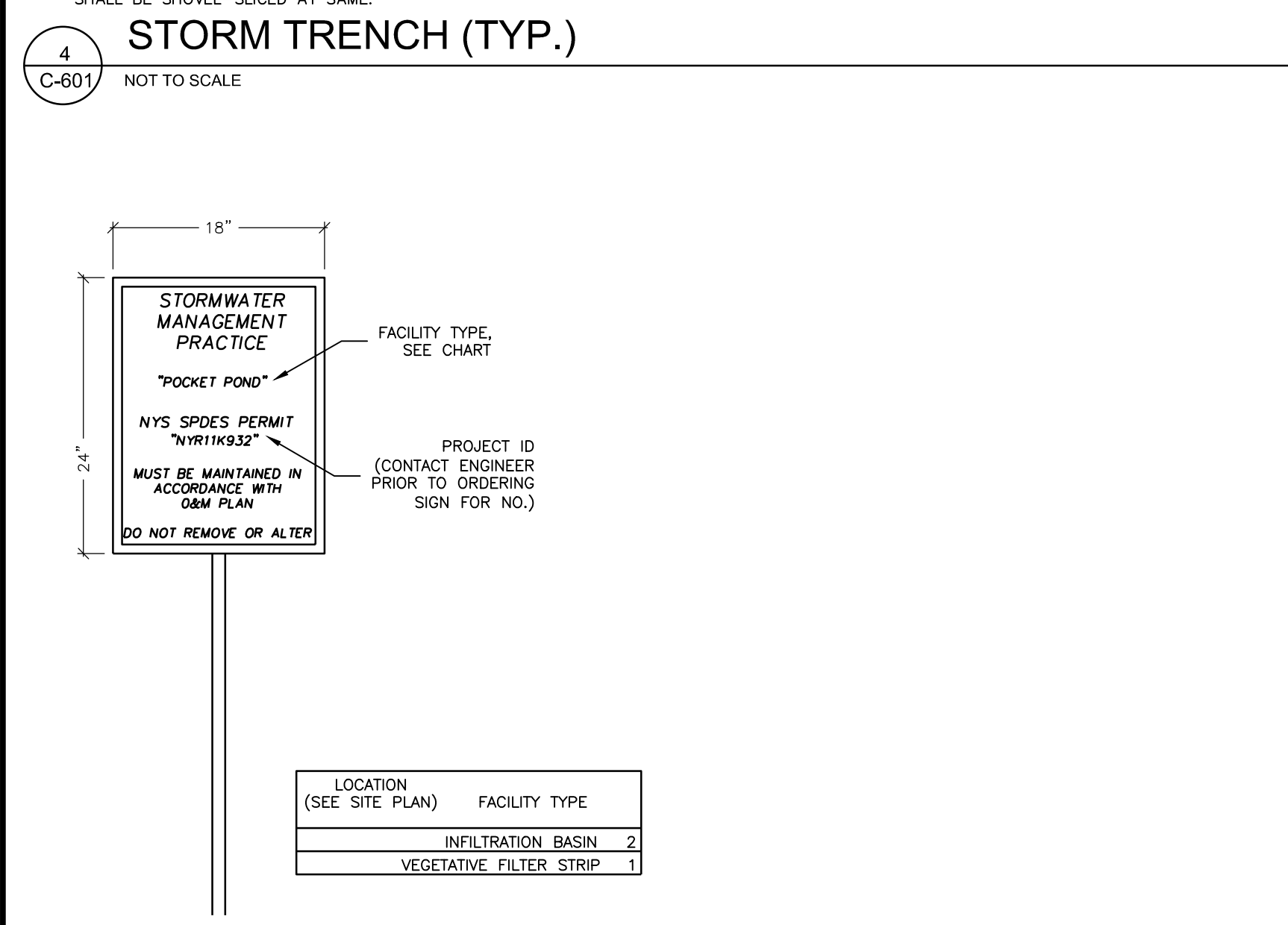
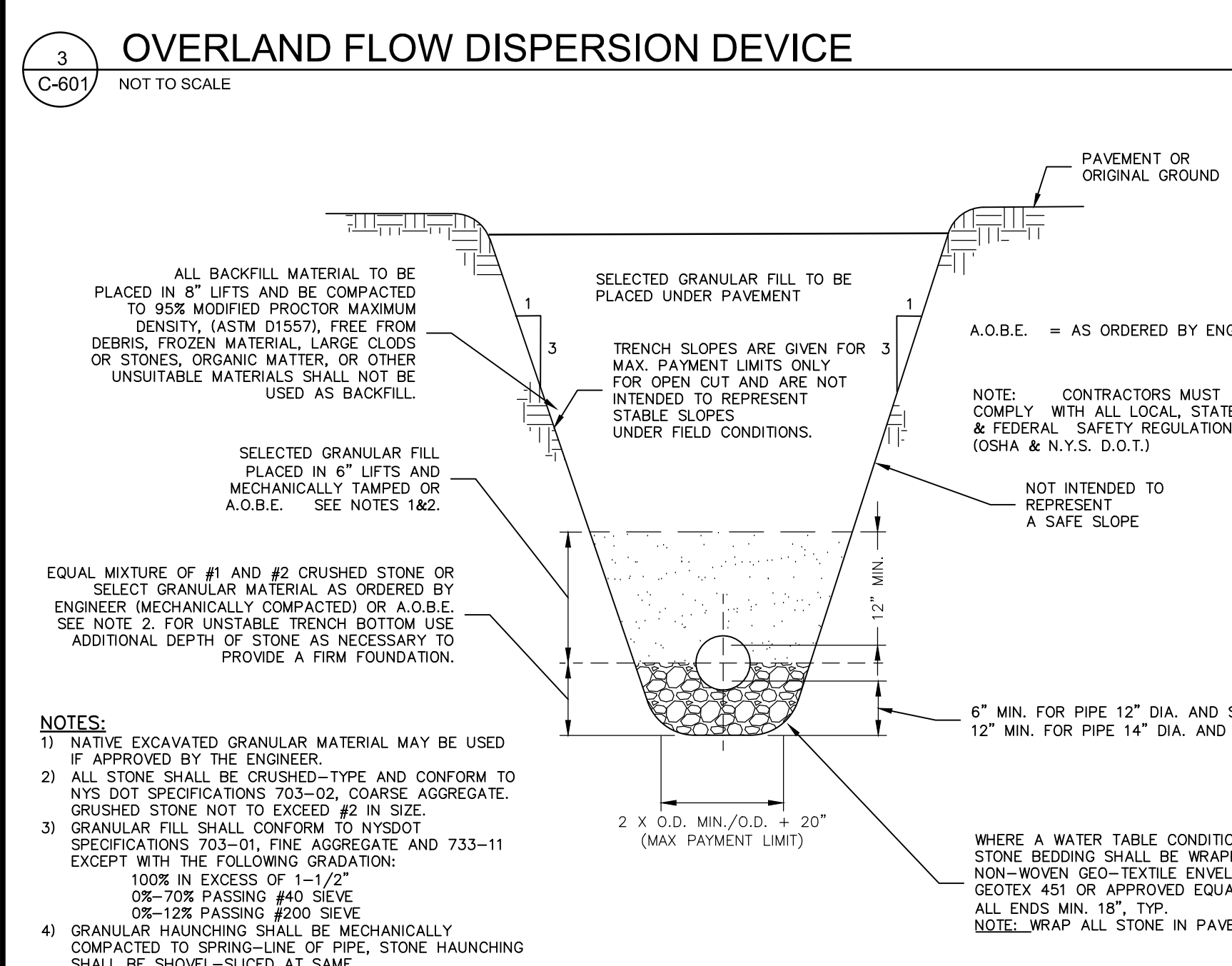
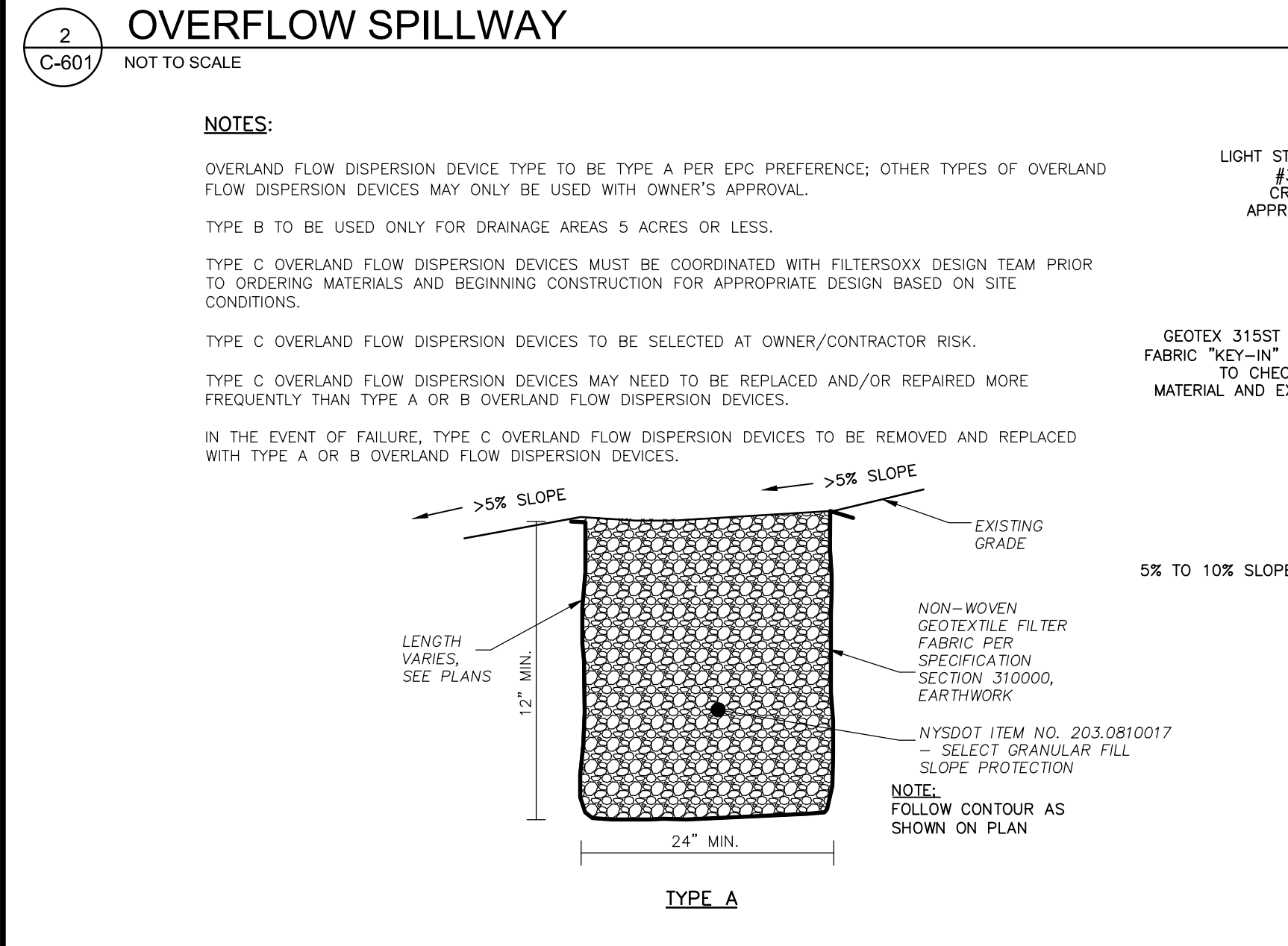
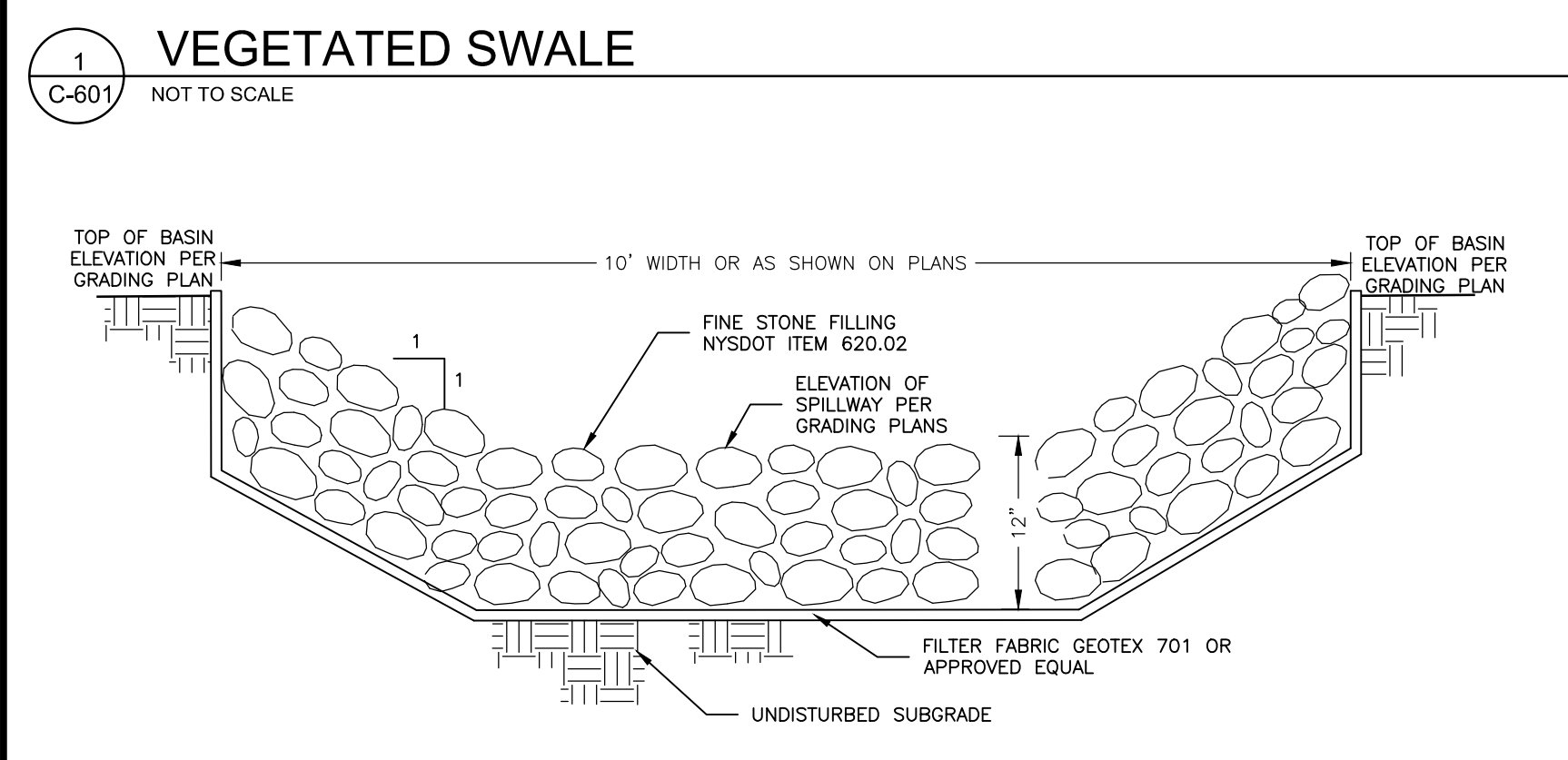
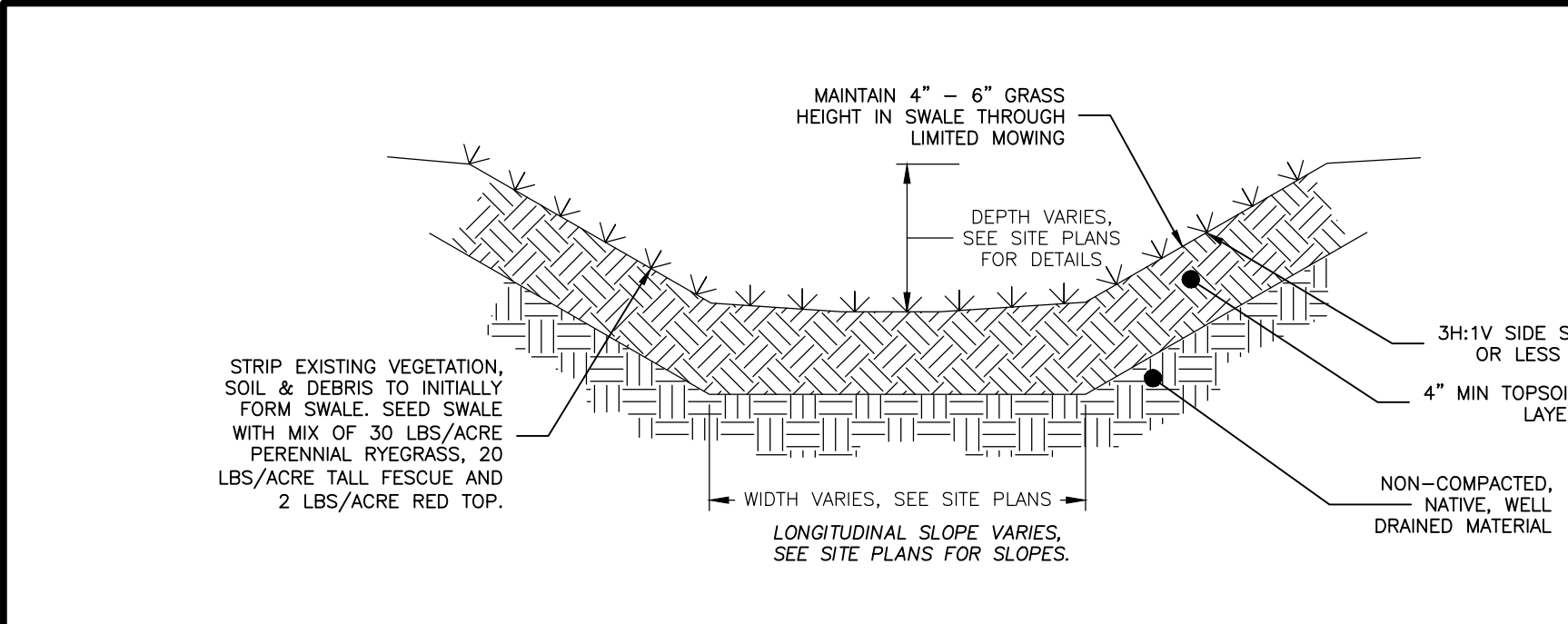
**10 TEMPORARY STAGING AREA**  
C-600 NOT TO SCALE

**MUNICIPAL APPROVAL SITE PLANS FOR VINEYARDS 1 & VINEYARDS 2 SOLAR SOL SOURCE POWER**  
757 VINEYARD ROAD  
TOWN OF CROWN POINT  
ESSEX COUNTY, NEW YORK

DATE	BY

SCALE:	AS NOTED
SHEET TITLE:	EROSION AND SEDIMENT CONTROL DETAILS
SHEET:	C-600





**GENERAL NOTES:**

THE ENVIRONMENTAL DESIGN PARTNERSHIP IS NOT RESPONSIBLE FOR ANY CONSTRUCTION WORK PERFORMED PRIOR TO FINAL APPROVAL OF ALL PLANS AND SECURING OF ALL PERMITS AND FILING OF ALL MAPS.

CONTRACTOR TO ARRANGE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL DESIGN PARTNERSHIP AND MUNICIPALITY PRIOR TO CONSTRUCTION.

FIELD ADJUSTMENTS MUST BE APPROVED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP AND THE MUNICIPALITY'S ENGINEER PRIOR TO CONSTRUCTION.

CONTRACTOR IS TO VERIFY THAT ALL NECESSARY WORK PERMITS AND EASEMENTS ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS AND TAKE ALL SPECIAL TEMPORARY AND PERMANENT PRECAUTIONS NECESSARY TO ENSURE A STABLE AND SECURE JOB.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY TOWN, COUNTY OR STATE HIGHWAY CUT PERMITS.

THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND EASEMENTS PRIOR TO CONSTRUCTION AND BECOME FAMILIAR WITH THE CONDITIONS OF EACH PERMIT.

THE CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS, AND DRIVEWAYS.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RIGHT-OF-WAY PROPERTY LINES PRIOR TO CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES SUCH AS GAS, POWER, TELEPHONE, CABLE TV, WATER, SEWER, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

AS PER NYS INDUSTRIAL CODE §3: CONTRACTOR TO CALL DIG SAFELY NEW YORK, INC. AT 1-800-942-7842 TO LOCATE BURIED CABLES OR OTHER UNDERGROUND UTILITIES NO LESS THAN TWO OR MORE THAN TEN WORKING DAYS PRIOR TO DIGGING, DRILLING, EXCAVATING, DRIVING POSTS, ETC.

CONTRACTOR MUST VERIFY THE ACCEPTABILITY OF ALL CONSTRUCTION MATERIALS WITH MUNICIPALITY'S ENGINEER PRIOR TO ORDERING.

ANY EXISTING STORM SEWERS AND UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND FOR INFORMATION ONLY. THE CONTRACTOR SHALL HAVE THEIR EXACT LOCATION CHECKED AT THE SITE BEFORE CONSTRUCTION BEGINS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING PIPE INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES WHICH RESULT MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, GRADES, PIPE INVERTS AND ELEVATIONS AND REVIEW WITH CONSULTANT BEFORE CONSTRUCTION.

ALL EXCAVATION TO MEET OSHA AND NYS DOT SAFETY REGULATIONS AND STANDARDS.

THE CONTRACTOR SHALL FILL IN AND RE-ELEVATE, AS NECESSARY TO RESUME WORK, ANY EXCAVATIONS OR TRENCHES AT LOCATIONS AND AS OFTEN AS MAY BE REQUIRED TO ENSURE PROTECTION OF THE WORK, ANY ADJACENT EXISTING FACILITIES, OR THE PUBLIC.

THE CONTRACTOR SHALL CLEAN UP THE JOB SITE DAILY BEFORE LEAVING THE JOBSITE. ALL RUBBISH MUST BE CLEANED UP AND CONSTRUCTION EQUIPMENT MUST BE PROPERLY TAKEN CARE OF AND STORED AT THE END OF THE DAY.

CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY DURING CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL FLAGMEN AND SIGNS, DELINEATORS, BARRIERS, AND DEVICES NECESSARY FOR TRAFFIC CONTROL DURING ANY EARTH-MOVING OPERATION OR OTHER CONSTRUCTION ACTIVITY WHICH INVOLVES PUBLIC HIGHWAYS.

ALL TRAFFIC SIGNS, CONTROL DEVICES AND INFORMATIONAL ITEMS, IF DISTURBED DURING CONSTRUCTION WITHIN CONTRACT LIMIT LINES, SHALL BE RELOCATED AS PER APPROVAL OF MUNICIPALITY.

RESTORATION OF PAVEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPLACE AND RESTORE PAVEMENT WITH MATERIAL TO A CONDITION EQUAL TO OR BETTER THAN PRECONSTRUCTION CONDITIONS. ALL PAVEMENT AND RIGHT-OF-WAY RESTORATION WORK TO BE DONE TO THE SATISFACTION OF THE STATE, COUNTY OR LOCAL MUNICIPAL HIGHWAY DEPARTMENT.

CONTRACTOR SHALL RESTORE ALL LAWNS, DRIVEWAYS, WALKS, WALLS, CURBS, FENCES, ETC. TO A CONDITION AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED.

BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. SHRUBS AND HEDGES THAT MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED OR REPLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

POSTS, MARKERS, ETC. SHALL BE PROTECTED, OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

IT MAY BE NECESSARY TO TO OR HOLD BACK UTILITY POLES DURING CONSTRUCTION. THIS SHOULD BE ACCOMPLISHED IN COOPERATION WITH UTILITY COMPANIES.

NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENTS OR R.O.W. AS SHOWN.

CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION (PROPER SHORING, ETC.).

ALL SITE WORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. WHERE ACCESS OR WORK OUTSIDE OF PROPERTY BOUNDARY IS NECESSARY, THE PERMISSION OF ADJOINING PROPERTY OWNER MUST FIRST BE OBTAINED.

ALL AREAS OF THE SITE WHICH ARE DISTURBED AND NOT PAVED SHALL BE TOPSOILED AND SEEDED.

THE INFORMATION REPRESENTED WITHIN THESE DOCUMENTS DOES NOT IMPLY ANY CONTRACT WITH OR OBLIGATION FOR PERFORMING ANY OR ALL TOWN, COUNTY, OR STATE REQUIRED INSPECTIONS DURING THE COURSE OF CONSTRUCTION OR PURSUANT TO OBTAINING CERTIFICATE OF OCCUPANCY. SUCH INSPECTION SERVICES, IF PERFORMED BY THIS OFFICE, SHALL BE ESTABLISHED BY SEPARATE CONTRACT.

IN THE EVENT THAT THE CONSTRUCTION STAKEOUT AND INSPECTION OF THE WORK IS NOT PERFORMED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP (EDP), EDP WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS, OMISSIONS, COSTS, EXPENSES OR LIABILITY OF WHATEVER KIND AND NATURE RESULTING FROM FIELD CHANGES AND/OR ERRORS WHICH EDP WOULD OTHERWISE HAVE HAD AN OPPORTUNITY TO CHECK AND CORRECT WERE THEY IN A POSITION TO CONTROL THE PROJECT THROUGH STAKEOUT AND INSPECTION.

CLAIMS MADE AGAINST CONSULTANT FOR SURVEY STAKEOUT ERRORS WILL BE HONORED ONLY IF CONSULTANT IS NOTIFIED FOR VERIFICATION OF THE ERROR IMMEDIATELY UPON DISCOVERY AND BEFORE ANY CONTROL STAKES ARE DISTURBED. IF, AFTER VERIFICATION, IT IS DETERMINED THAT AN ERROR OCCURRED, THE CLIENT SHALL REIMBURSE THE CONSULTANT FOR ADDITIONAL EXPENSES INCURRED FOR SUCH VERIFICATION.

ALL ERRORS, OMISSIONS AND DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENVIRONMENTAL DESIGN PARTNERSHIP IMMEDIATELY UPON DISCOVERY. OTHERWISE, THE ENVIRONMENTAL DESIGN PARTNERSHIP WILL ACCEPT NO RESPONSIBILITY.

INSPECTION SERVICES BY THE ENVIRONMENTAL DESIGN PARTNERSHIP ARE NOT SUPERVISORY. ACCORDINGLY, THE ENVIRONMENTAL DESIGN PARTNERSHIP CAN NEITHER GUARANTEE THE PERFORMANCE OF THE CONSTRUCTION CONTRACTS BY CONTRACTORS NOR ASSUME RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO FURNISH AND PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

SOLAR PANEL, EQUIPMENT PAD, AND MV UNDERGROUND CABLE LAYOUT WERE PROVIDED BY OTHERS.

SOLAR PANEL EQUIPMENT PAD, AND MV UNDERGROUND CABLE DESIGN, INCLUDING, BUT NOT LIMITED TO, SUBGRADE SUITABILITY, PREPARATION, REQUIRED TRENCHING, AND BEDDING TO BE DESIGNED BY OTHERS.

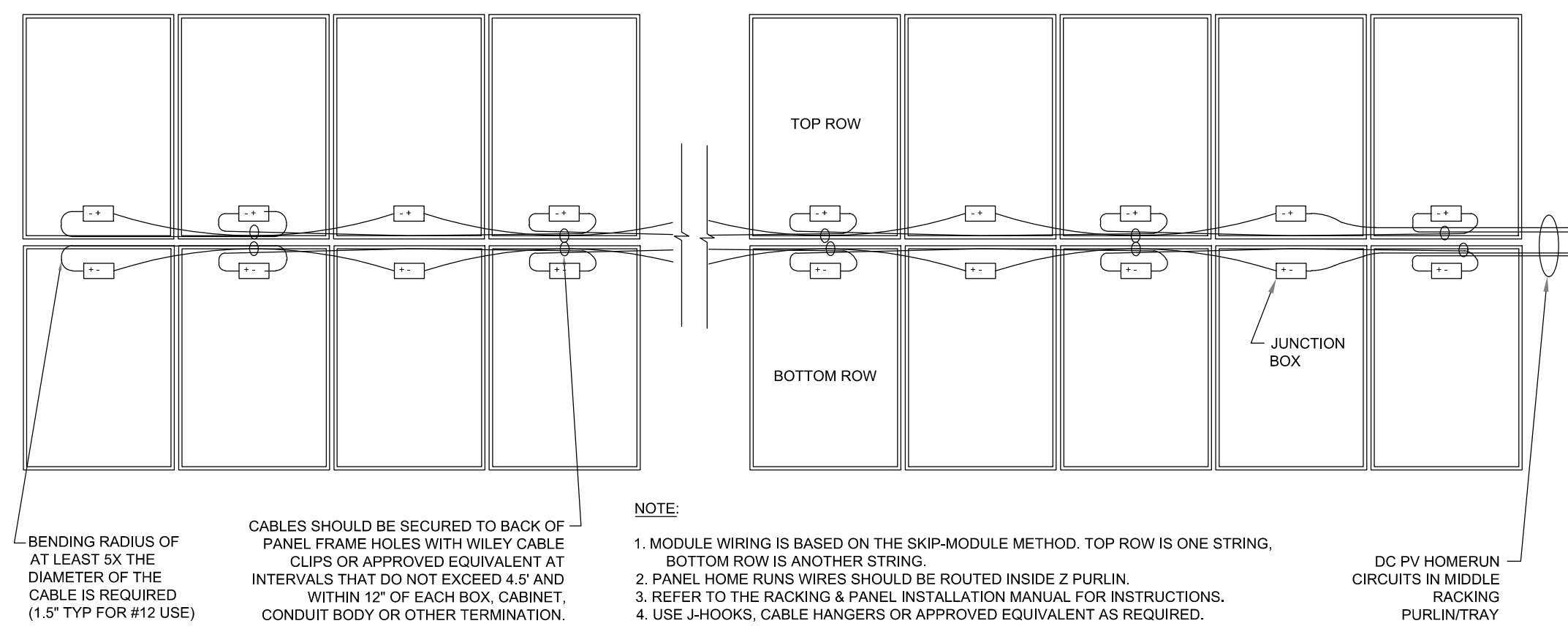
PLANS ARE FOR MUNICIPAL APPROVAL ONLY AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION. PURCHASER WILL BE RESPONSIBLE FOR PREPARING A CONSTRUCTION LEVEL PLAN SET.

**REVISIONS:**

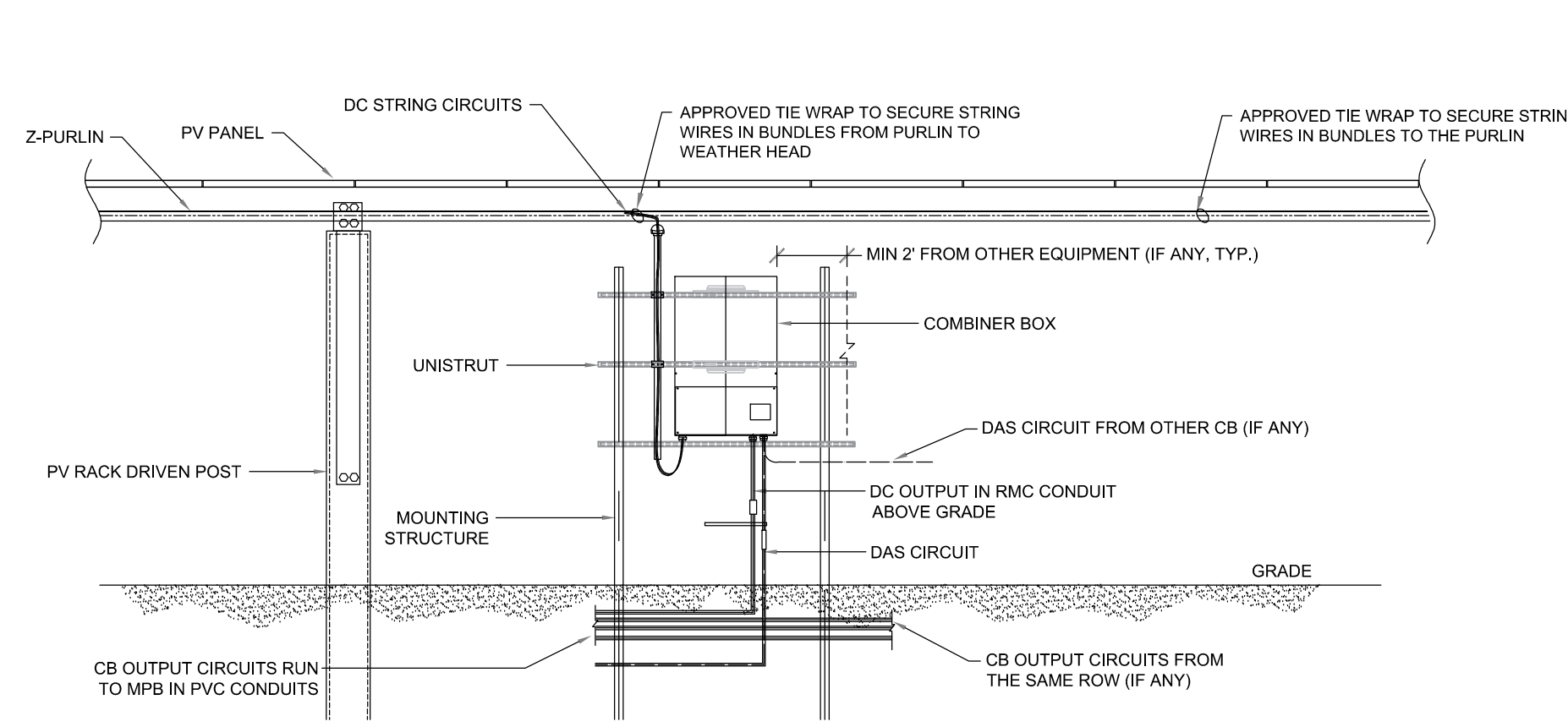
NO.	DATE	BY
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3	5/17/24	PK

NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENTS OR R.O.W. AS SHOWN.

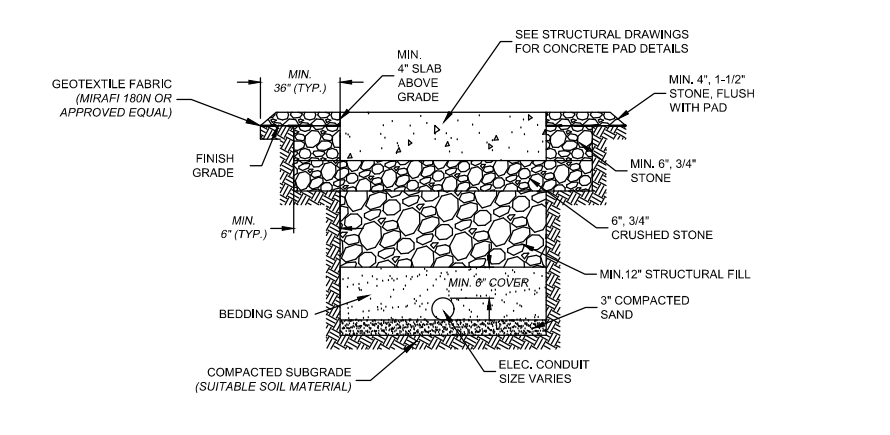
**FOR MUNICIPAL APPROVAL ONLY - NOT INTENDED FOR CONSTRUCTION**



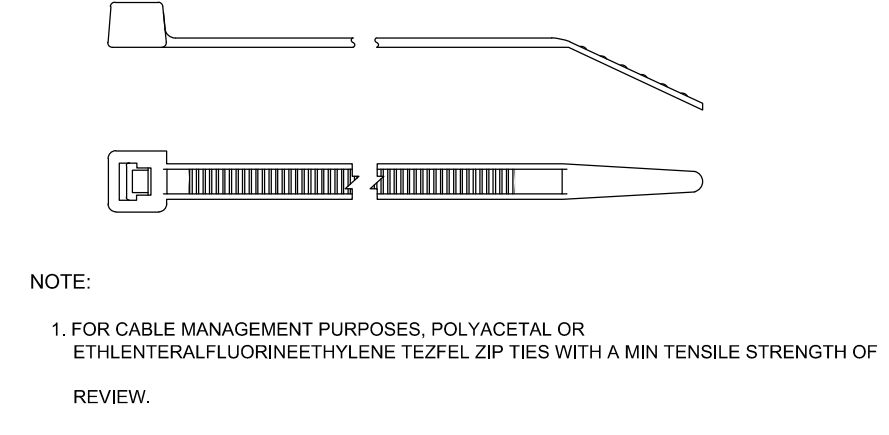
**1 PANEL WIRING MANAGEMENT DETAIL**  
E-100 NOT TO SCALE



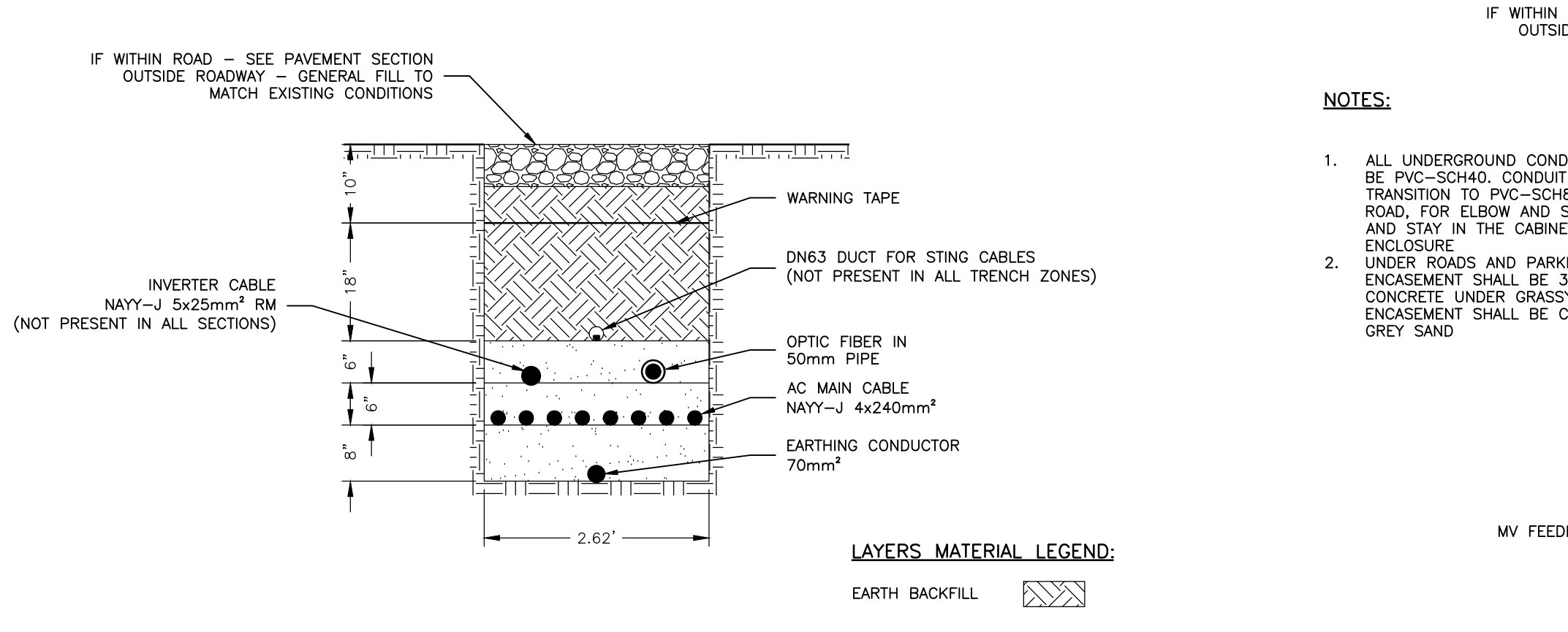
**2 EQUIPMENT MOUNTING FRONT VIEW**  
E-100 NOT TO SCALE



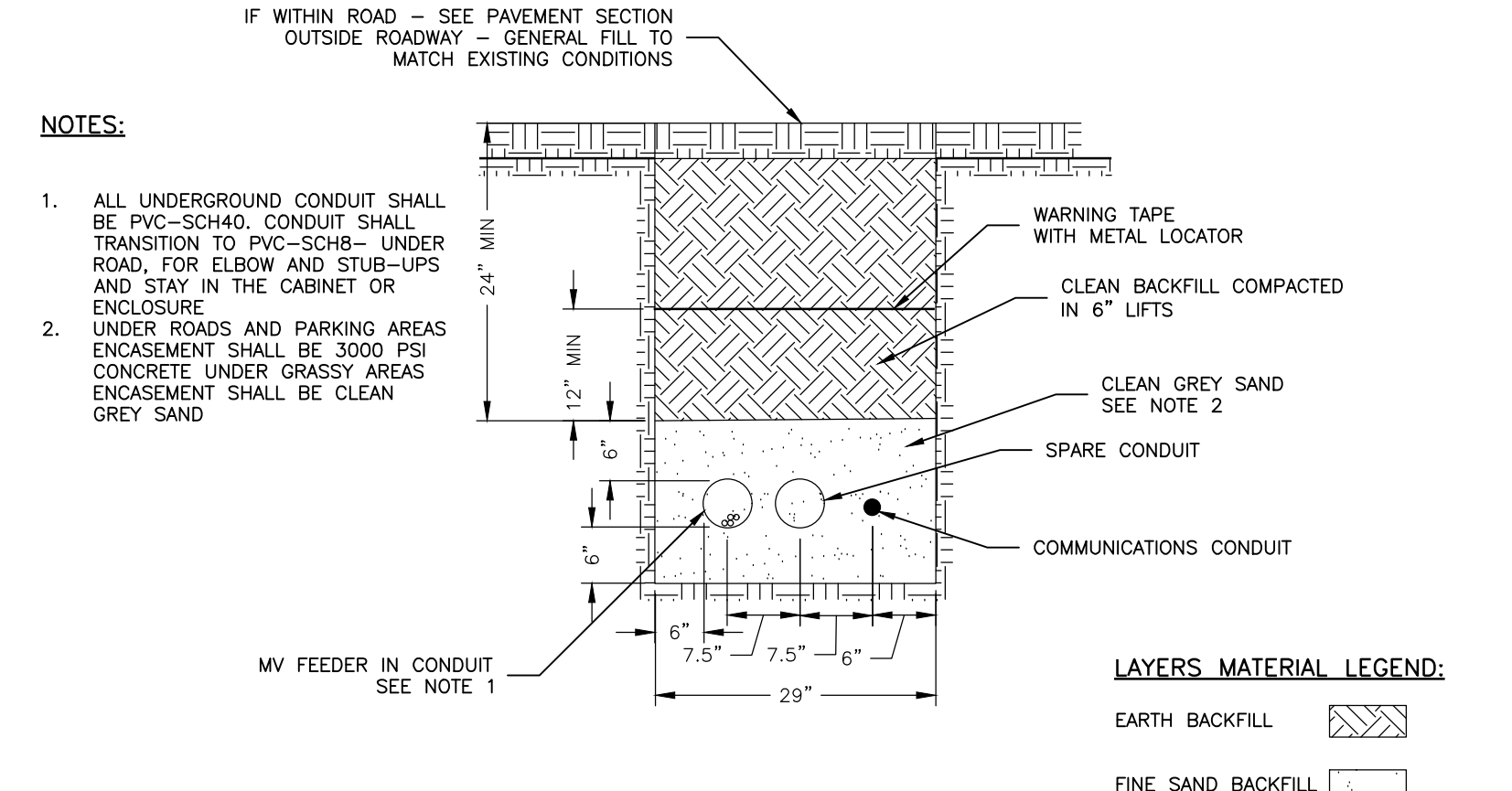
**3 CONCRETE EQUIPMENT PAD**  
E-100 NOT TO SCALE



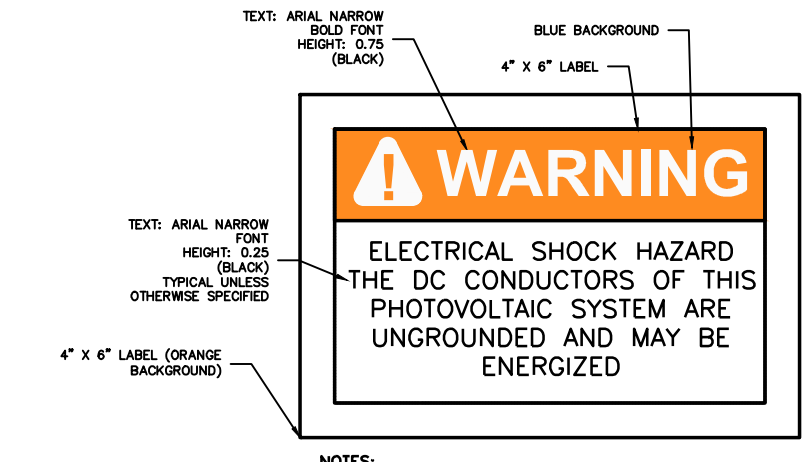
**4 STANDARD CABLE TIE**  
E-100 NOT TO SCALE



**5 LOW VOLTAGE (LV) TRENCH DETAIL**  
E-100 NOT TO SCALE



**6 MEDIUM VOLTAGE (MV) DUCTBANK DETAIL**  
E-100 NOT TO SCALE



**7 WARNING SIGN DETAIL**  
E-100 NOT TO SCALE

DETAILS ON THIS SHEET, INCLUDING BUT NOT LIMITED TO, ELECTRICAL DETAILS, SOLAR PANEL AND RACKING DETAILS AND STORAGE DETAILS ARE SCHEMATIC IN NATURE AND ARE SHOWN TO ILLUSTRATE VISUAL IMPACTS AND DISTURBANCE IMPACTS. ACTUAL ELECTRICAL DETAILS FOR CONSTRUCTION SHALL BE PREPARED BY OTHERS IN COMPLIANCE WITH THE GROUND DISTURBANCE SHOWN HEREIN AS WELL AS ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.

DESIGNED BY	DATE
CHECKED BY	DATE
FOR PROJECT NUMBER	1403-1
DATE OF THIS DOCUMENT	05/15/24
SCALE	AS NOTED
REVISION	DATE
REVISION NO. WITH COMMENTS	1/15/24
REVISION NO. WITH COMMENTS	5/15/24

SCALE:	AS NOTED
SHEET TITLE:	ELECTRICAL DETAILS (BY OTHERS)
SHEET:	E-100

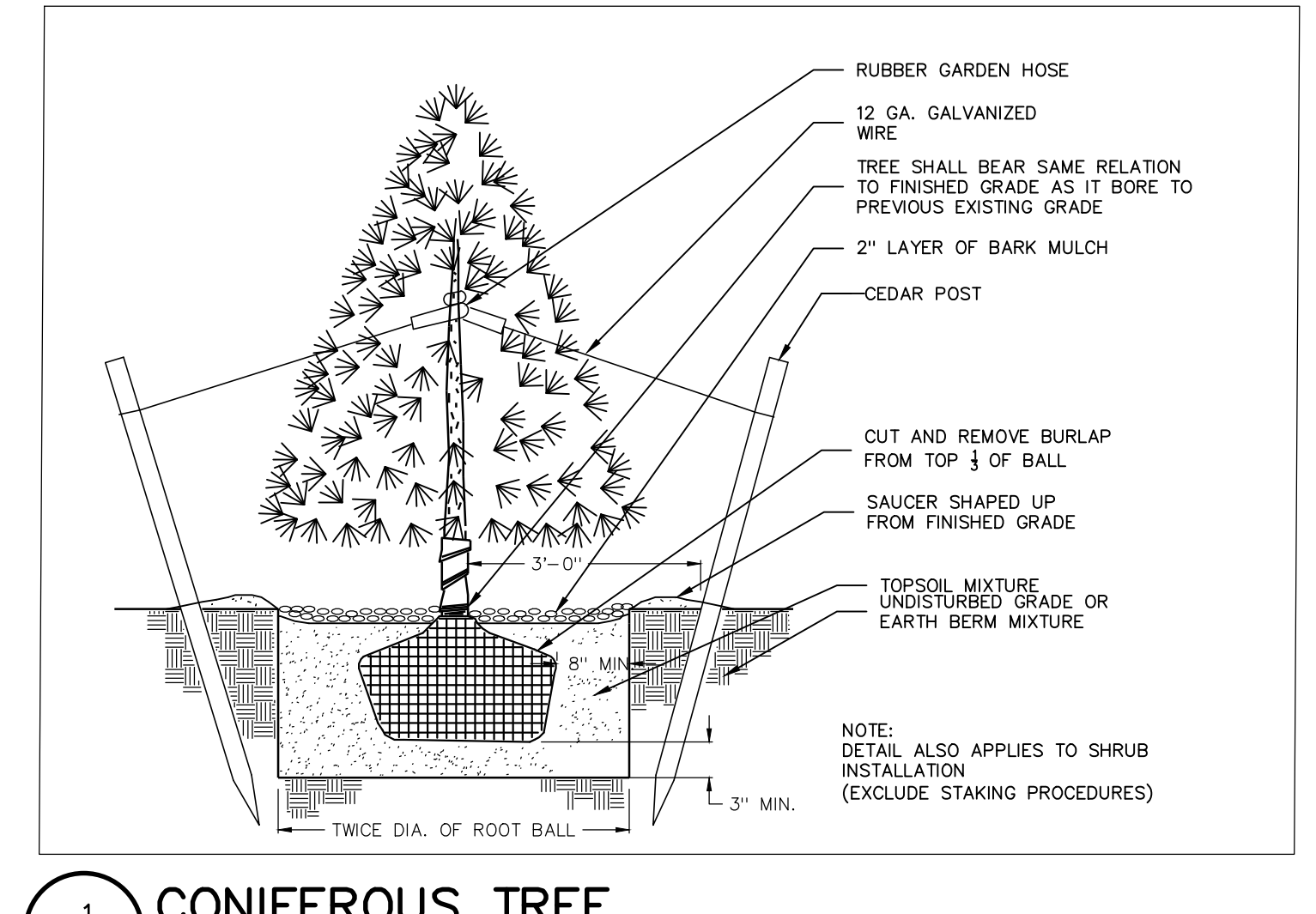
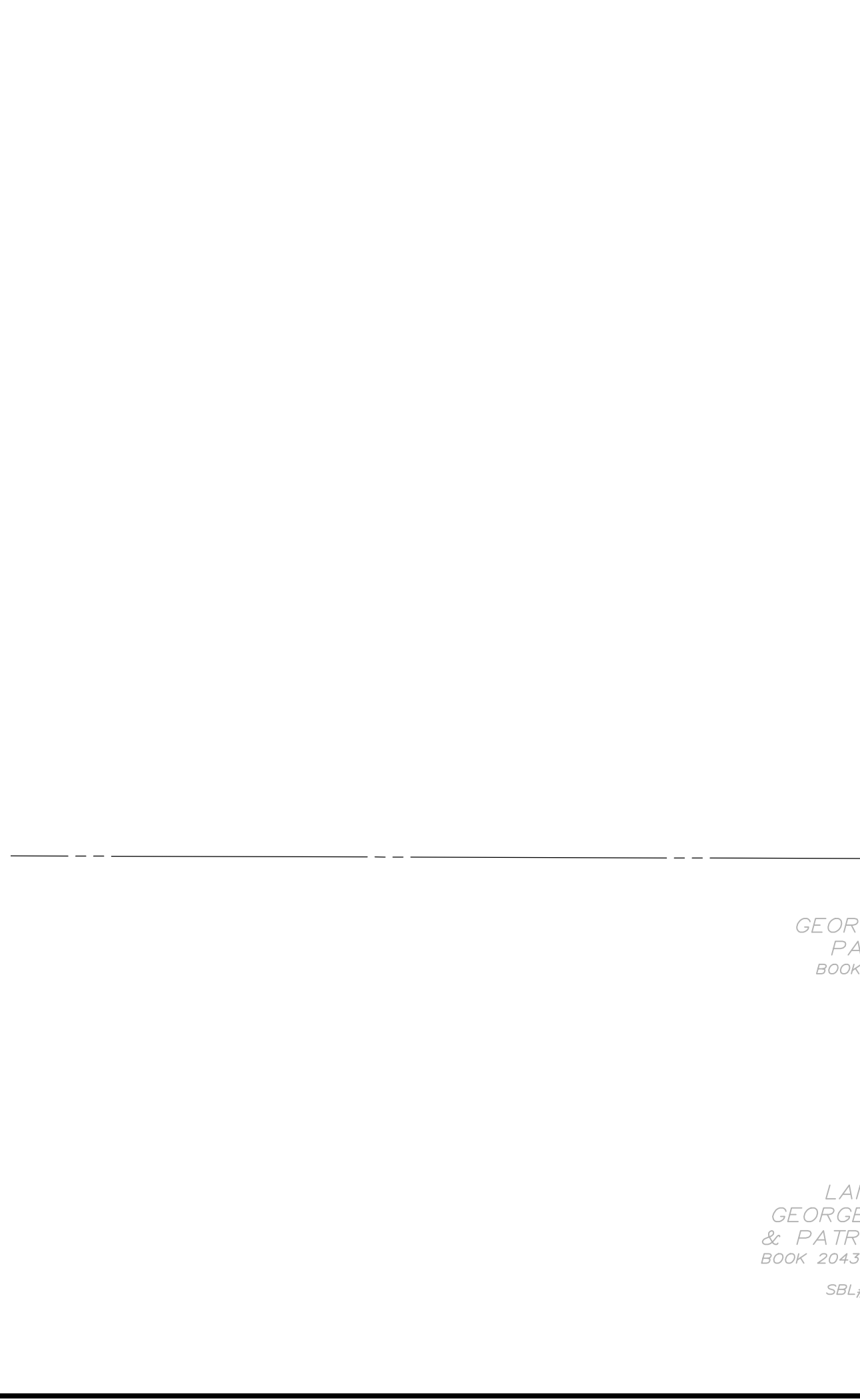
QUANTITY	SPECIES	COMMON	APPLICATION RATE
29.6%	SCHIZACHYRIUM SCOPARIUM, FORT INDIANTOWN GAP - PA ECOTYPE	LITTLE BLUESTEM, FORT INDIANTOWN GAP-PA ECOTYPE	
10.0%	ELYNUS VIRGINICUS, PA ECOTYPE	VIRGINIA WILDRYE, PA ECOTYPE	
9.4%	ECHINACEA PURPUREA	PURPLE CONEFLOWER	
6.0%	DELPHINIUM AJACIS	ROCKET LARKSPUR	
6.0%	CENTAUREA CYANUS, TALL MIXED	BACHELOR'S BUTTON TALL MIXED/CORNFLOWER	
6.0%	COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	
6.0%	RUBRODIA HIRTA	BLACKEYE SUSAN	
5.0%	DIANTHUS BARBATUS	SWEETWILLIAM	
4.0%	CHRYSANTHEMUM MAXIMUM	SHASTA DAISY	
2.2%	BAPTISA AUSTRALIS, SOUTHERN NY ECOTYPE	BLUE FALS WINDO, SOUTHERN NY ECOTYPE	
2.0%	LIATRIS SPICATA	MARSH BLAZING STAR	
1.4%	HELIOPSIS HELIANTHODES, PA ECOTYPE	OXEYE SUNFLOWER, PA ECOTYPE	
1.2%	ASCLEPIAS TUBEROSA, PA ECOTYPE	BUTTERFLY MILKWEED, PA ECOTYPE	
1.1%	PTYCHANTHEMUM TENIFOLIUM	NARROWLEAF MOUNTAINMINT	
1.0%	ASCLEPIAS INCARNATA, PA ECOTYPE	SWAMP MILKWEED, PA ECOTYPE	
1.0%	ERINGIUM YUCCIFOLIUM, OH ECOTYPE	RATTLESNAKE MASTER, OH ECOTYPE	
1.0%	ESCHSCHOLIA CALIFORNICA	CALIFORNIA ORANGE POPPY	
1.0%	PAFINGER INCAES, RED	RED CORN POPPY, RED	
1.0%	RAIBIDA PINATA, OH ECOTYPE	GREY HEADED CONEFLOWER, OH ECOTYPE	
0.8%	PENSTEMON INDIANUS, PA ECOTYPE	TALL WHITE BEARSTONGLE, PA ECOTYPE	
0.7%	COREOPSIS TINCTORIA	PLAINS COREOPSIS	
0.6%	ZIDA AUREA, PA ECOTYPE	GOLDEN ALEXANDERS, PA ECOTYPE	
0.5%	ERAGROSTIS SPECTABILIS, RI ECOTYPE	PURPLE LOVEGRASS, RI ECOTYPE	
0.5%	MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE	WLD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE	
0.4%	SOLIDAGO MEMORIALIS, PA ECOTYPE	GRAY GOLDENROD, PA ECOTYPE	
0.4%	TRADESCANTIA OHENSIS, PA ECOTYPE	OHIO SPIDERWRT, PA ECOTYPE	
0.3%	ASTER OBLONGIFOLIUS, PA ECOTYPE	AROMATIC ASTER, PA ECOTYPE	
0.2%	ASTER LAEVIS, NY ECOTYPE	SMOOTH BLUE ASTER, NY ECOTYPE	
0.2%	ASTER NOBIS-ANGULAE, PA ECOTYPE	NEW ENGLAND ASTER, PA ECOTYPE	
0.2%	ONONIDA FRUTICOSA VAR. FRUTICOSA	SUNDROPS	
0.1%	ASTER PILOSUS, PA ECOTYPE	HEATH ASTER, PA ECOTYPE	
0.1%	SOLIDAGO BICOLOR, PA ECOTYPE	WHITE GOLDENROD, PA ECOTYPE	
0.1%	SOLIDAGO ODORA, PA ECOTYPE	LICORICE SCENTED GOLDENROD, PA ECOTYPE	

\*AREAS OUTSIDE OF FENCE TO BE SEEDED WITH ERNMX - 179 OR OWNER APPROVED EQUAL AT A RATE OF 30 LB PER ACRE. BETWEEN DECEMBER 1ST THROUGH APRIL 15TH EACH TYPE OF SEED SHALL HAVE AN ADDITIONAL 1 LB PER 1,000 SF OF WINTER RYEGRASS OR GRAY RYE GRASS SEED INCLUDED

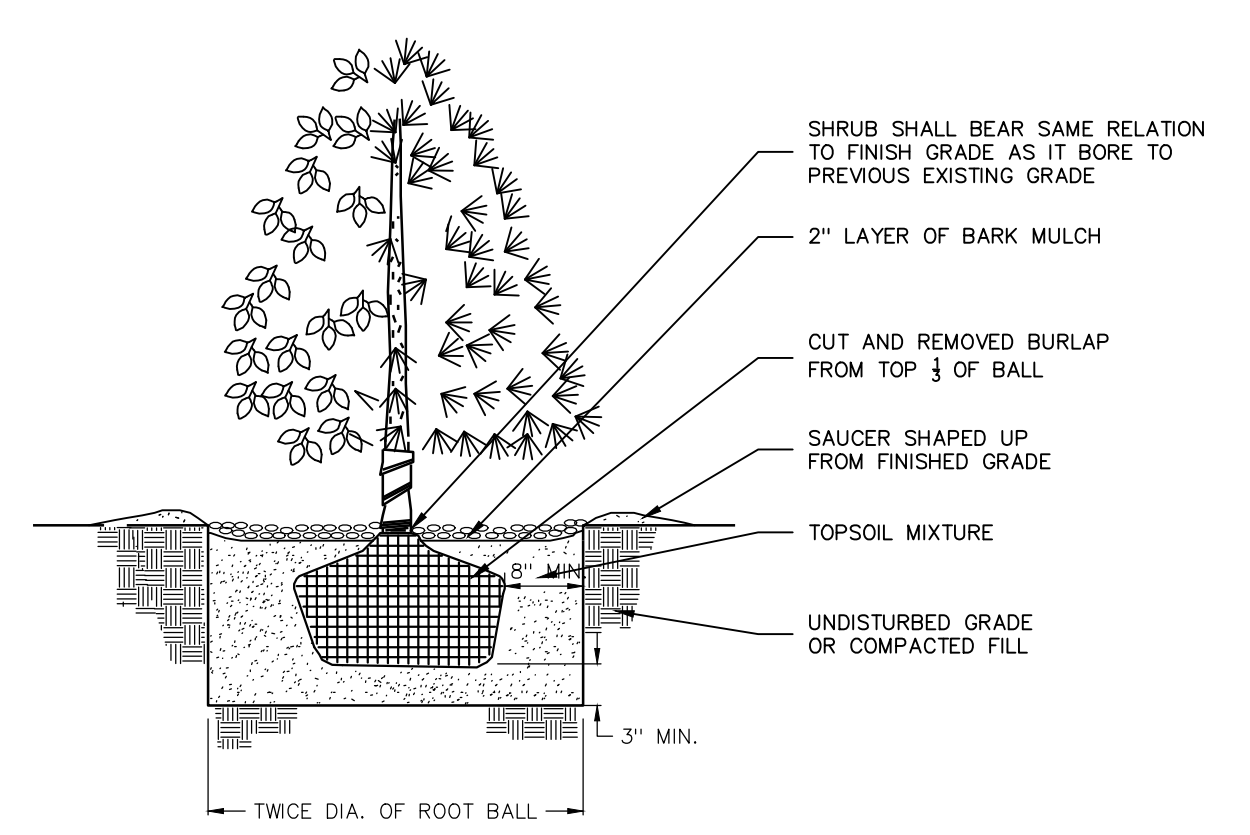
**LEGEND**

[Pattern]	USACE/NYSDEC WETLAND AREAS
[Pattern]	AREA TO BE SEEDED WITH ERNMX-179 BUTTERFLY & HUMMINGBIRD GARDEN MIX

- PLANTING NOTES:**
- PLANTING CONTRACTOR SHALL VERIFY FINAL SELECTION OF PLANT MATERIALS WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL AREAS OF SITE WHICH ARE DISTURBED AND NOT LANDSCAPED, PAVED, SHALL BE TOPSOILED, SEEDED, AND MULCHED (MULCH - STRAW, HYDROSEED MIX, OR BIODEGRADABLE NETTING.) MIXTURES TO BE APPLIED SHALL BE DETERMINED BY OWNER'S REPRESENTATIVES. TOPSOIL TO BE 4" MINIMUM.
  - EXISTING VEGETATION SHALL REMAIN UNDISTURBED WITHIN ALL AREAS OF SITE WHICH DO NOT REQUIRE GRADING.
  - ALL PLANTING BEDS TO RECEIVE 3" MINIMUM BARK MULCH WITH FILTER FABRIC WEED CONTROL OR EQUAL. NOTE: NO FILTER FABRIC IN GROUNDCOVER, ORNAMENTAL GRASSES AND PERENNIAL AREAS.
  - THIS PLAN IS FOR PLANTING PURPOSES ONLY. REFER TO SITE PLAN FOR DETAILED GRADING AND UTILITY INFORMATION.
  - GUARANTEE:
    - FOR A PERIOD OF TWELVE MONTHS FROM THE DATE THAT THE WORK UNDER CONTRACT IS CERTIFIED AS COMPLETE, THE CONTRACTOR SHALL:
    - GUARANTEE ALL PLANTS AND SEEDED AREAS UNDER THIS CONTRACT;
    - REMOVE AND REPLACE DURING THIS GUARANTEE PERIOD, PLANTS WHICH DIE OR ARE IN A BADLY IMPAIRED CONDITION;
    - REPLANT WITH STOCK OF SAME SIZE AND QUALITY AS ORIGINALLY SPECIFIED;
    - GUY AND MAINTAIN AS SPECIFIED HEREIN, AT NO ADDITIONAL COST.
  - REPLACEMENTS MADE WITHIN SIX MONTHS AFTER BEGINNING OF THE "GUARANTEE PERIOD" SHALL NOT EXTEND THE "GUARANTEE PERIOD" OF THESE PARTICULAR PLANTS; THOSE REPLACEMENTS MADE SIX MONTHS OR MORE AFTER THE BEGINNING OF THE "GUARANTEE PERIOD" SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF SIX MONTHS FROM THE TIME OF REPLACEMENT.
  - APPLICABLE STANDARDS: "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN AND "STANDARDIZED PLANT NAMES" BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE, ARE A PART OF THIS SPECIFICATION. ALL PLANTS SHALL BE NURSERY GROWN, NOT GATHERED IN THE FIELD.



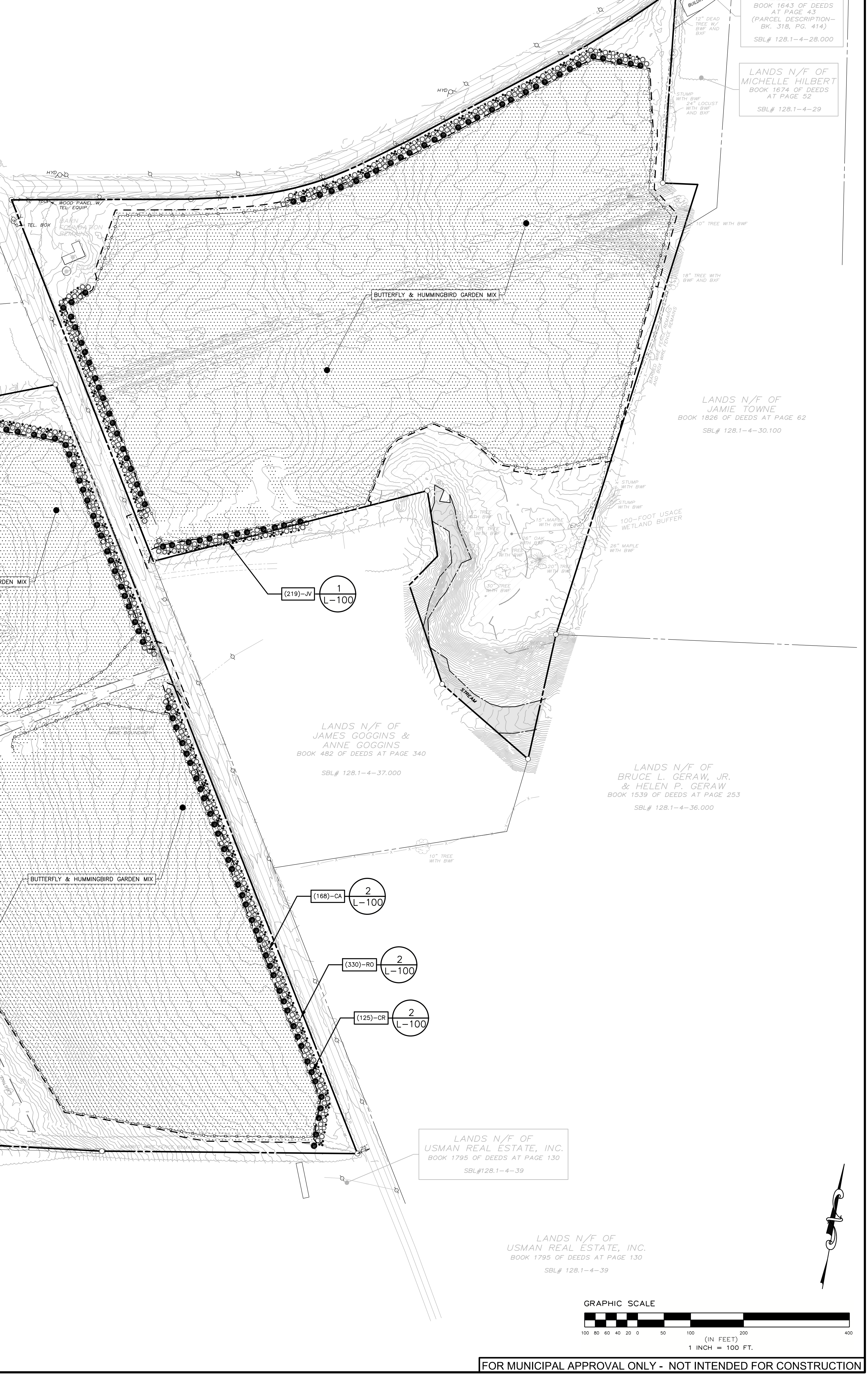
**1 CONIFEROUS TREE**  
L-100 NOT TO SCALE



**2 SHRUB PLANTING**  
L-100 NOT TO SCALE

PLANTING SCHEDULE					
KEY	COMMON	BOTANICAL	SIZE	NO.	SPACING
[Symbol]	GRAY DOGWOOD	CORNUS RACEMOSA	2'-3' HT	125	AS SHOWN
[Symbol]	EASTERN RED CEDAR	JUNIPERUS VIRGINIA	4'-5' HT	219	AS SHOWN
[Symbol]	AMERICAN HAZELNUT	CORYLUS AMERICANA	2'-3' HT	168	AS SHOWN
[Symbol]	PURPLE FLOWERING RASPBERRY	RUBUS ODORATUS	3 GALLON	330	AS SHOWN

\*NO. DENOTES TOTAL NUMBER OF PROPOSED PLANTINGS FOR ENTIRE SITE PLAN



DESIGNED BY	DATE
CHECKED BY	DATE
FOR PROJECT NUMBER	14811

REVISION	DATE
REVISION NO. WITH COMMENTS	5/17/24
REVISION NO. WITH COMMENTS	5/17/24

SCALE:	1" = 100'
SHEET TITLE:	LANDSCAPING PLAN
SHEET:	L-100