


**THIS PERMIT AMENDS PERMIT 2020-0193, ISSUED OCTOBER 21, 2020  
THIS IS A TWO-SIDED DOCUMENT**

<div style="display: flex; align-items: center;"><div><b>Adirondack Park Agency</b></div></div> <p style="text-align: center; margin-top: 20px;">P.O. Box 99, 1133 NYS Route 86 Ray Brook, New York 12977 Tel: (518) 891-4050 www.apa.ny.gov</p>	<p><b>APA Project Permit 2020-0193A</b></p>
<p>In the Matter of the Application of</p> <p><b>GARY A. FEUZ and ANNETTE FEUZ</b> <b>Permittees</b> for a permit amendment pursuant to § 809 of the Adirondack Park Agency Act</p>	<p>Date Issued: May 1, 2024</p> <p>To the County Clerk: Please index this permit in the grantor index under the following names:</p> <ol style="list-style-type: none"><li><b>1. Gary A. Feuz</b></li><li><b>2. Annette Feuz</b></li></ol>

**SUMMARY AND AUTHORIZATION**

Adirondack Park Agency Permit 2020-0193 authorized construction of a single-family dwelling in an area classified Resource Management on the Adirondack Park Land Use and Development Plan Map in the Town of Black Brook, Clinton County. This permit amends Permit 2020-0193, as conditioned below, to increase the height of the single-family dwelling.

The amendment authorized herein is shown on the Dwelling Height Plans titled "Feuz Residence," prepared by Moser Engineering, and dated April 15, 2024, including Sheet E1 Elevation Views and Sheet E2 Section View. A reduced-scale copy of Sheet E1 Elevation Views of the Dwelling Height Plans is attached as a part of this permit for easy reference. The original, full-scale maps, plans, and reports described in this paragraph and in Permit 2020-0193 are the official plans for the project, with copies available upon request from Adirondack Park Agency headquarters in Ray Brook, New York.

This permit amendment does not convey any right to trespass upon the lands or interfere with the riparian rights of others in order to undertake the authorized project, nor does it authorize the impairment of any easement, right, title or interest in real or personal property.

Nothing contained in this permit amendment shall be construed to satisfy any legal obligations of the permittee to comply with all applicable laws and regulations or to obtain any governmental approval or permit from any entity other than the Agency, whether federal, State, regional or local.

### **PROJECT SITE**

The project site is a 4.76±-acre parcel of land located on Richards Road in the Town of Black Brook, Clinton County, in an area classified Resource Management on the Adirondack Park Land Use and Development Plan Map. The project site contains shoreline on Silver Lake. The site is identified as Tax Map Section 307, Block 2, Parcel 3.41, and is described in a deed from Margaret W. Sledd Herman to Gary A. Feuz and Annette Feuz, dated August 2, 2012, and recorded February 26, 2014 in the Clinton County Clerk's Office under Instrument Number 2014-00263285.

### **CONDITIONS**

1. Condition 5 of Permit 2020-0193 is hereby amended to authorize an increase in the height of the single-family dwelling authorized in Permit 2020-0193. The single-family dwelling shall not exceed 39 feet in height, as measured from the highest point on the structure, to the lower of either existing or finished grade. Any expansion beyond this dimension shall require prior written Agency authorization.

All other terms and conditions in Permit 2020-0193 remain in full force and effect.

2. This permit amendment shall be recorded in the Clinton County Clerk's Office within 60 days of the date of its issuance.
3. All deeds conveying all or a portion of the lands subject to this permit shall contain references to this permit amendment as follows: "The lands conveyed are subject to Adirondack Park Agency Permit 2020-0193, issued October 21, 2020, and Adirondack Park Agency Permit 2020-0193A, issued May 1, 2024, the conditions of which are binding upon the heirs, successors and assigns of the grantors and all subsequent grantees."

Permit Amendment issued this 1<sup>st</sup> day  
of May, 2024.

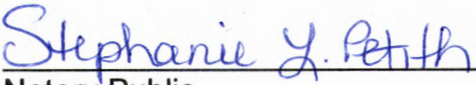
ADIRONDACK PARK AGENCY

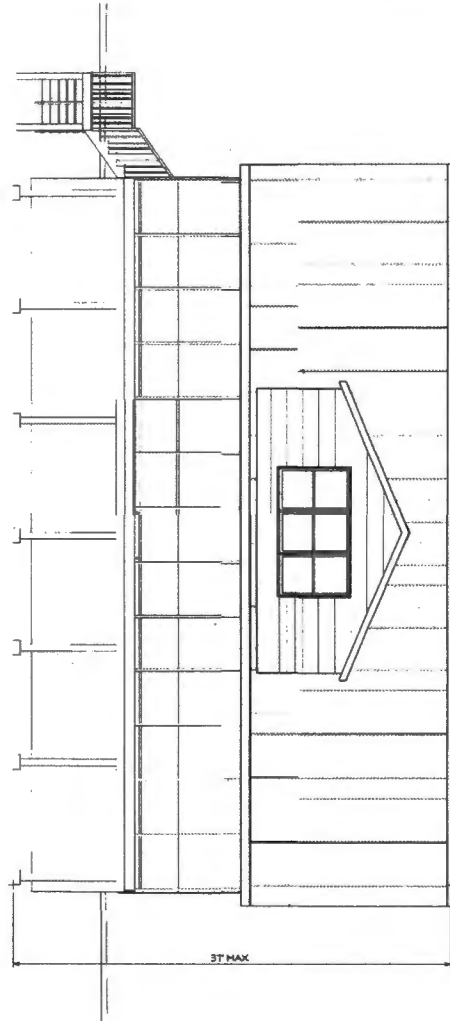
BY:   
David J. Plante, AICP CEP  
Deputy Director, Regulatory Programs

STATE OF NEW YORK  
COUNTY OF ESSEX

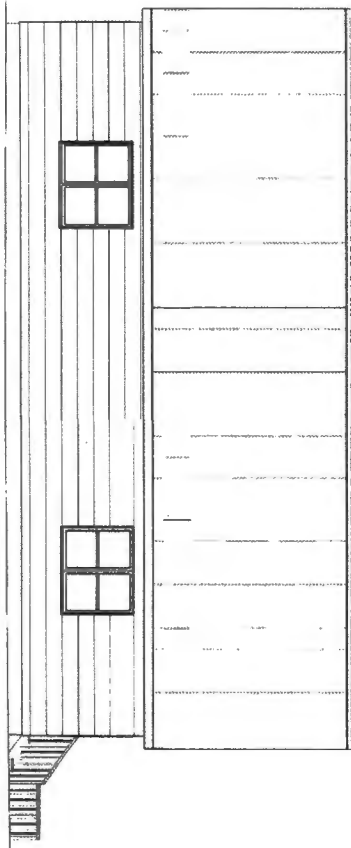
On the 1<sup>st</sup> day of May in the year 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared David J. Plante, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that they executed the same in their capacity, and that by their signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Stephanie L. Petith  
Notary Public, State of New York  
Reg. No. 01PE6279890  
Qualified in Franklin County  
Commission Expires April 15, 2025

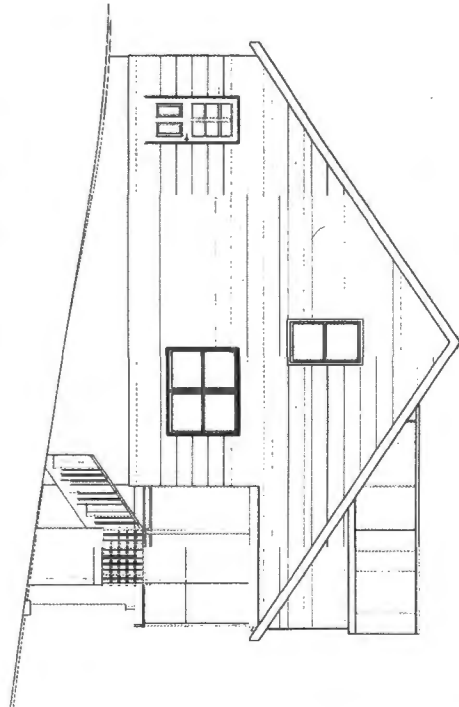
  
Notary Public



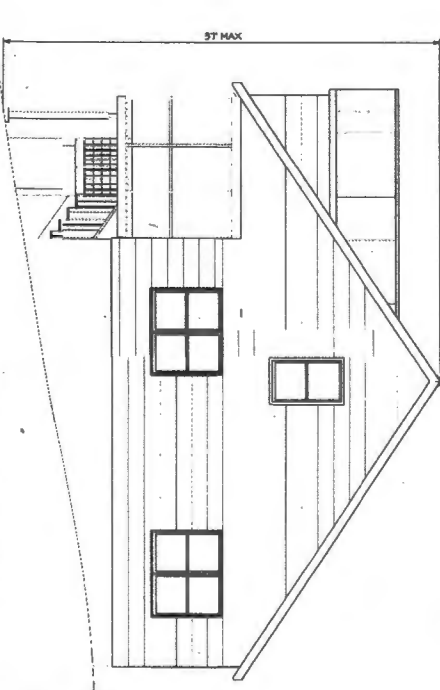
**Front Elevation**  
Scale: 1/4" = 1'-0"



**Rear Elevation**  
Scale: 1/4" = 1'-0"



**Left Elevation**  
Scale: 1/4" = 1'-0"



**Right Elevation**  
Scale: 1/4" = 1'-0"

