

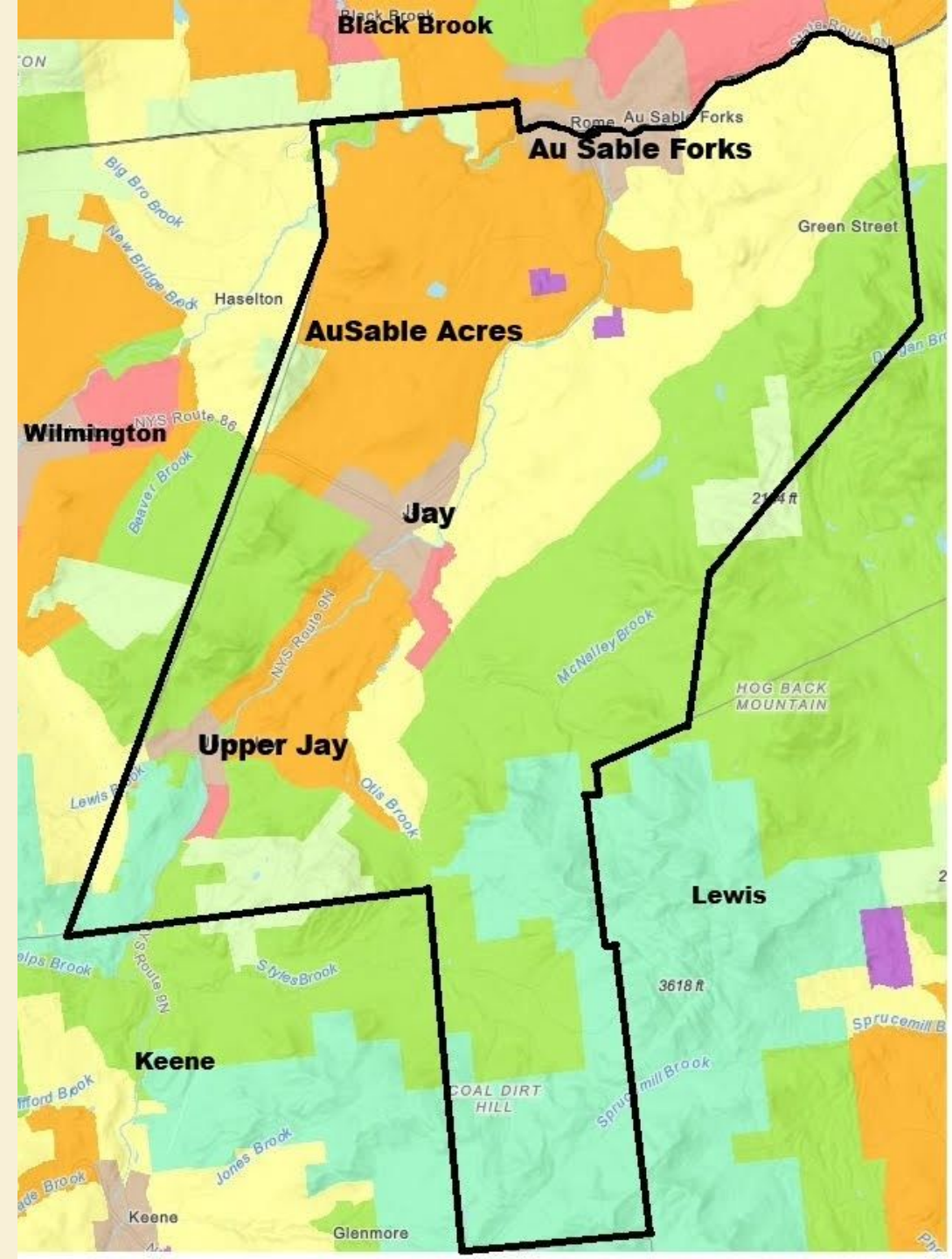


COMMUNITY SPOTLIGHT BRIEF



TOWN OF JAY:

- Founded in 1798, 68 mi² ; In the park
- 25 miles from Lake Placid & Plattsburgh
- Connected to Keene and Wilmington by routes NY-9N and NY-86
- Confluence of East & West Branches Ausable River
- Jay Mountain Range & Four Peaks Wilderness
- Boundary Essex & Clinton Counties
 - Share core with Black Brook
 - Northern Gateway to the Adirondacks
- Roughly 2500 residents
- Settlement waves from New England, New York, French Canada, Vacationers, New Residents



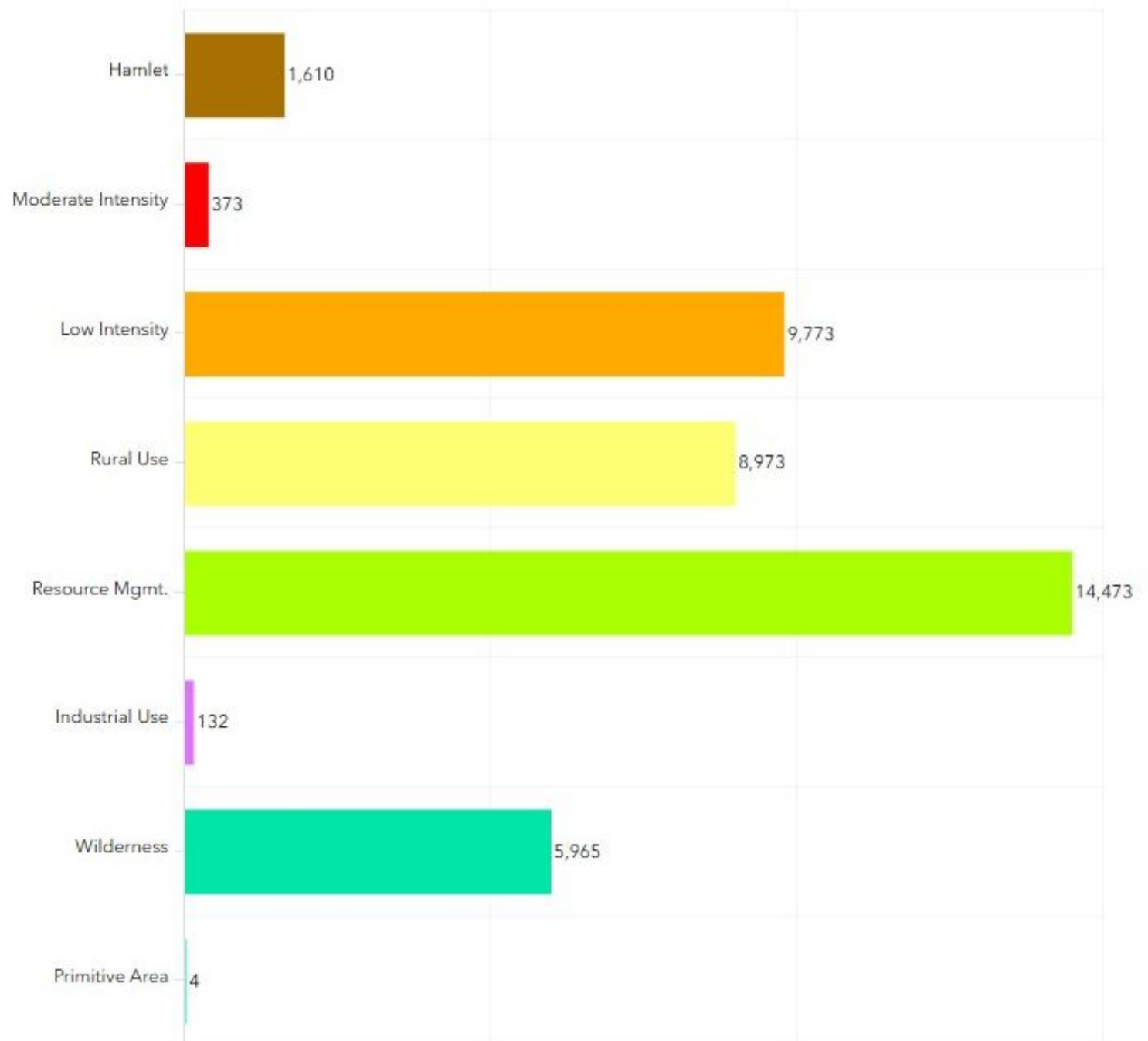


TOWN OF JAY: TRANSITIONS

- 3 Hamlets: Au Sable Forks, Jay, Upper Jay
- AuSable Acres & Rural Lands
- Transitions:
 - Agriculture, logging & mining
 - J&J Rogers Paper Company
 - 21st century: 9-11, Irene & pandemic
 - Tourism
- New pressures
 - Second Homes
 - Short Term Rentals
- We need APA help to manage growth

COMMUNITY SPOTLIGHT BRIEF

Land Classification Acreage of selected area

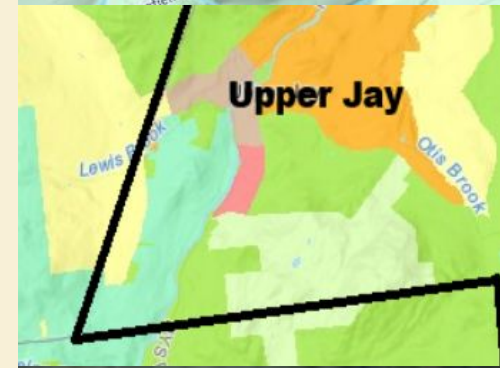
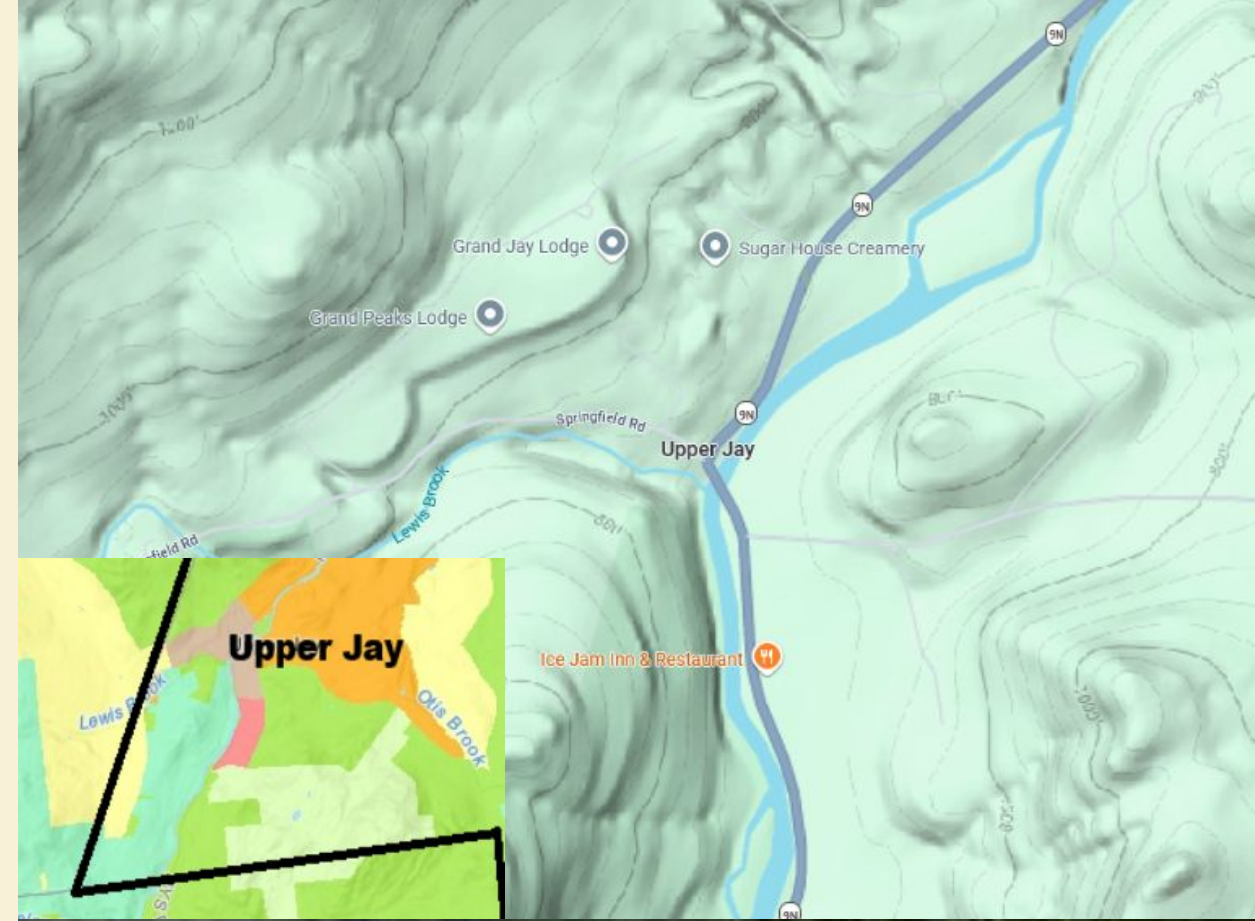




TOWN OF JAY: HAMLET OF UPPER JAY

- Small Hamlet at intersection of NY-9N and County RT-12
- Arto Monaco’s Land of Makebelieve: 1954 to 1979
 - Destroyed by flood
- Flooded by Hurricane Irene: 2011
 - FEMA Buyout of many properties
 - Much of hamlet is now floodplain
 - Also subject to Ice Jams
- Upper Jay Arts Center
- Dining
 - Adirondack Mountain Coffee Cafe
 - Ice Jam Inn
- Expansion limited by hillside slopes

COMMUNITY SPOTLIGHT BRIEF





TOWN OF JAY: HAMLET OF JAY

COMMUNITY SPOTLIGHT BRIEF

- Small Hamlet at Intersection of NY-9N and NY-86
- Location of Jay Covered Bridge
- Mostly Residential but also:
 - Light Commercial
 - Jay Village Green
 - Amos & Julia Ward Theater
 - Jay Entertainment and Music Society
- Limited Growth Potential: mostly along NY-9N and NY-86

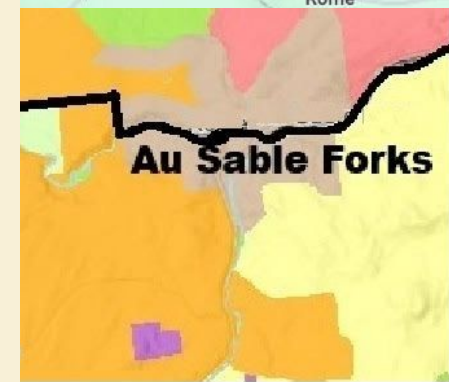
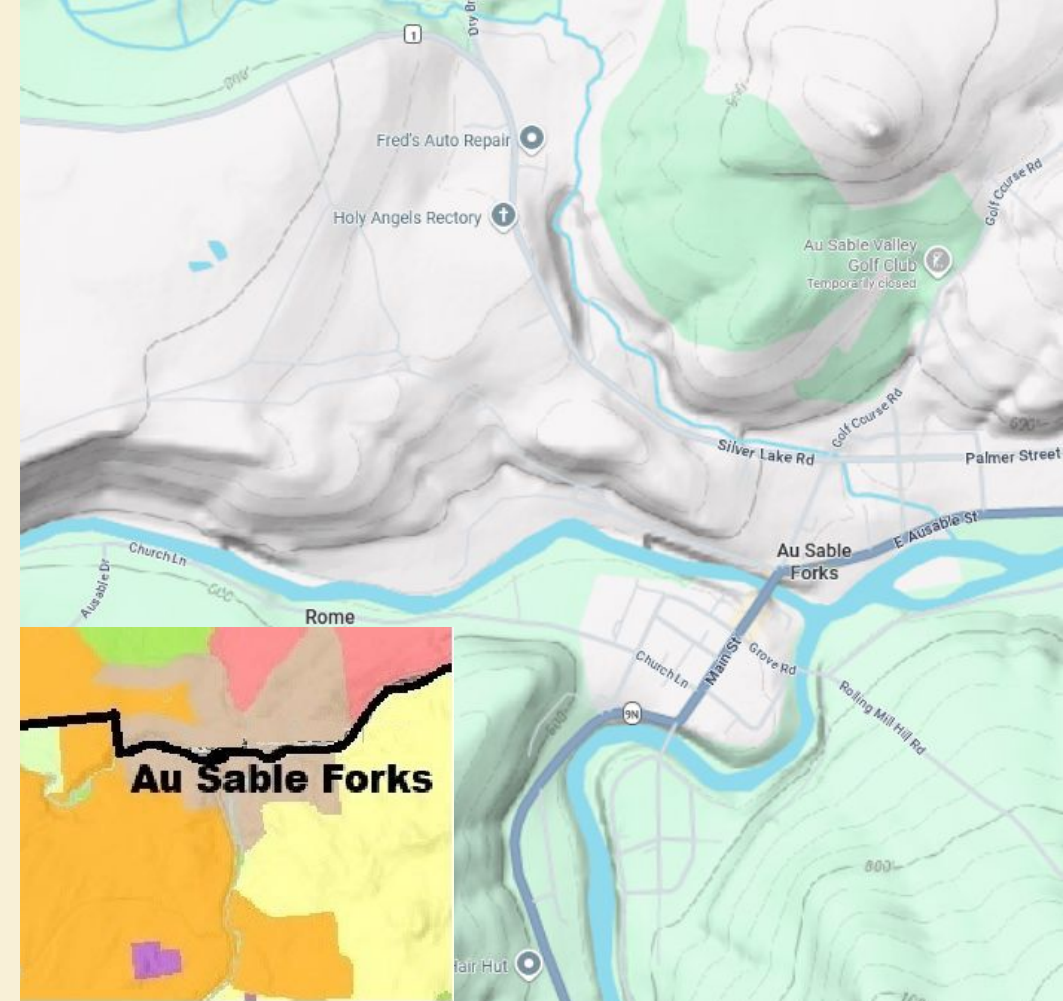




TOWN OF JAY: HAMLET OF AU SABLE FORKS

- Larger Hamlet - shared with Black Brook
- Confluence of East & West Branches of Ausable River
- Principal Commercial & Government Core:
 - Historic Main Street
 - Community Center
 - Former J&J Rogers Paper Company Location
 - Some Flood Zone & Ice Jam Areas
 - Historic District (now on National Register)
- Possible Potential for Hamlet Expansion
 - Available Water & Wastewater Capacity
 - Some Potential for Infill development

COMMUNITY SPOTLIGHT BRIEF

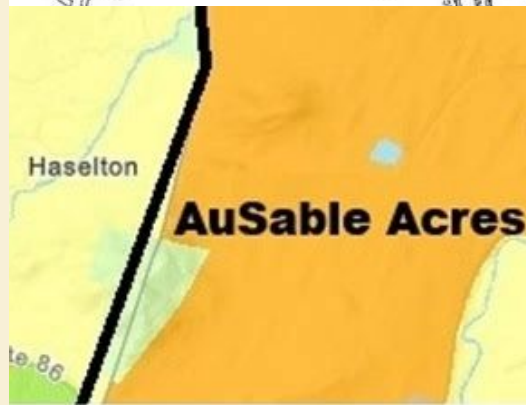
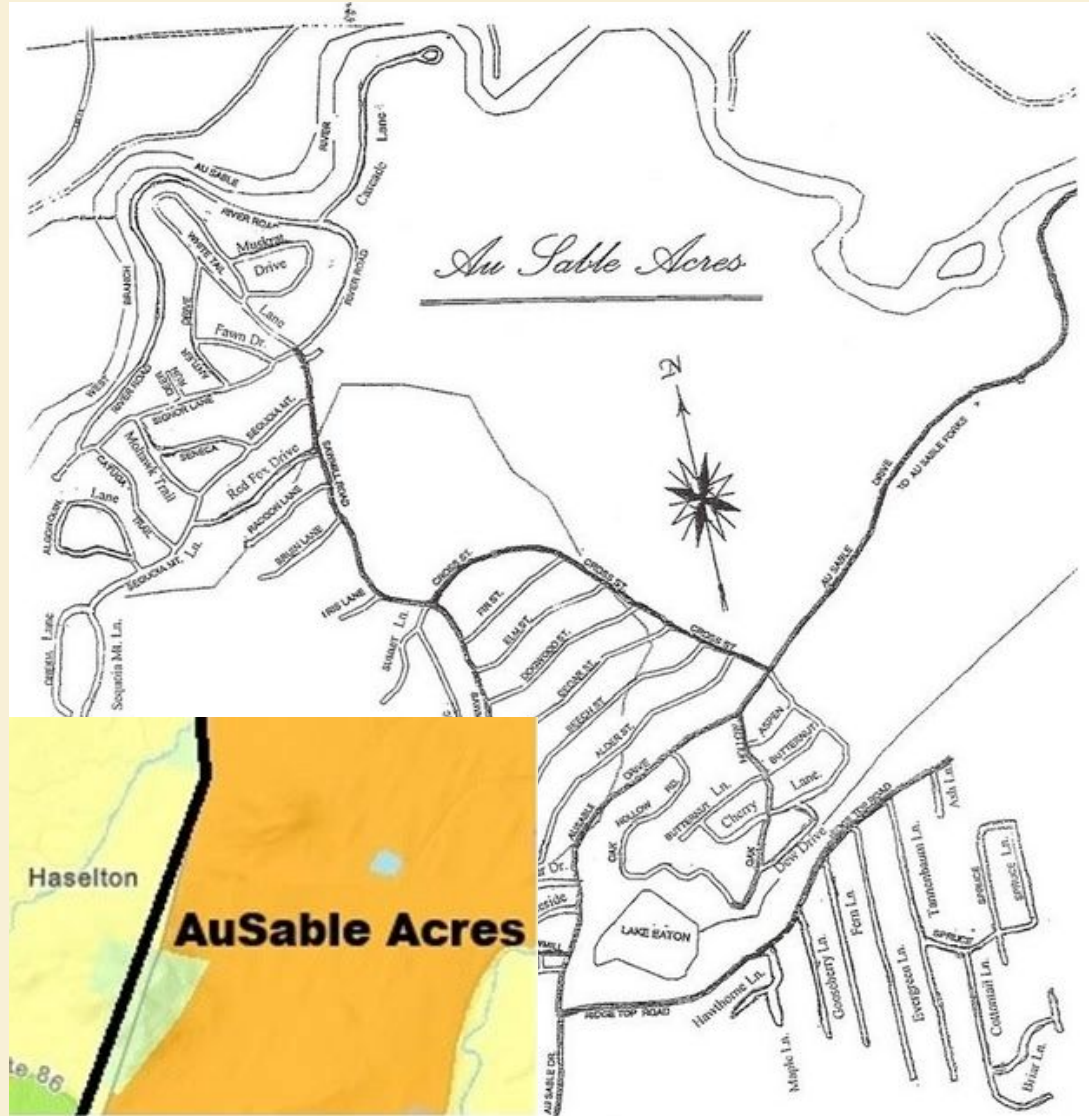




TOWN OF JAY: AUSABLE ACRES

COMMUNITY SPOTLIGHT BRIEF

- AuSable Acres: Residential Private Development - 1960's
 - Recognized in 1973 Land Use Plan
 - Over 900 lots; most 0.9 acres
 - Originally 360 cabins/vacation properties
 - Now 472 single-family homes
 - Primary residences, second homes & short term rentals
 - Private water system
- Rapid increase in demand since 2019
 - Median sales from \$140K to \$350K
 - Extreme rise in property assessments
 - STR demand driving out long-term rentals
- Some potential for development in adjacent areas

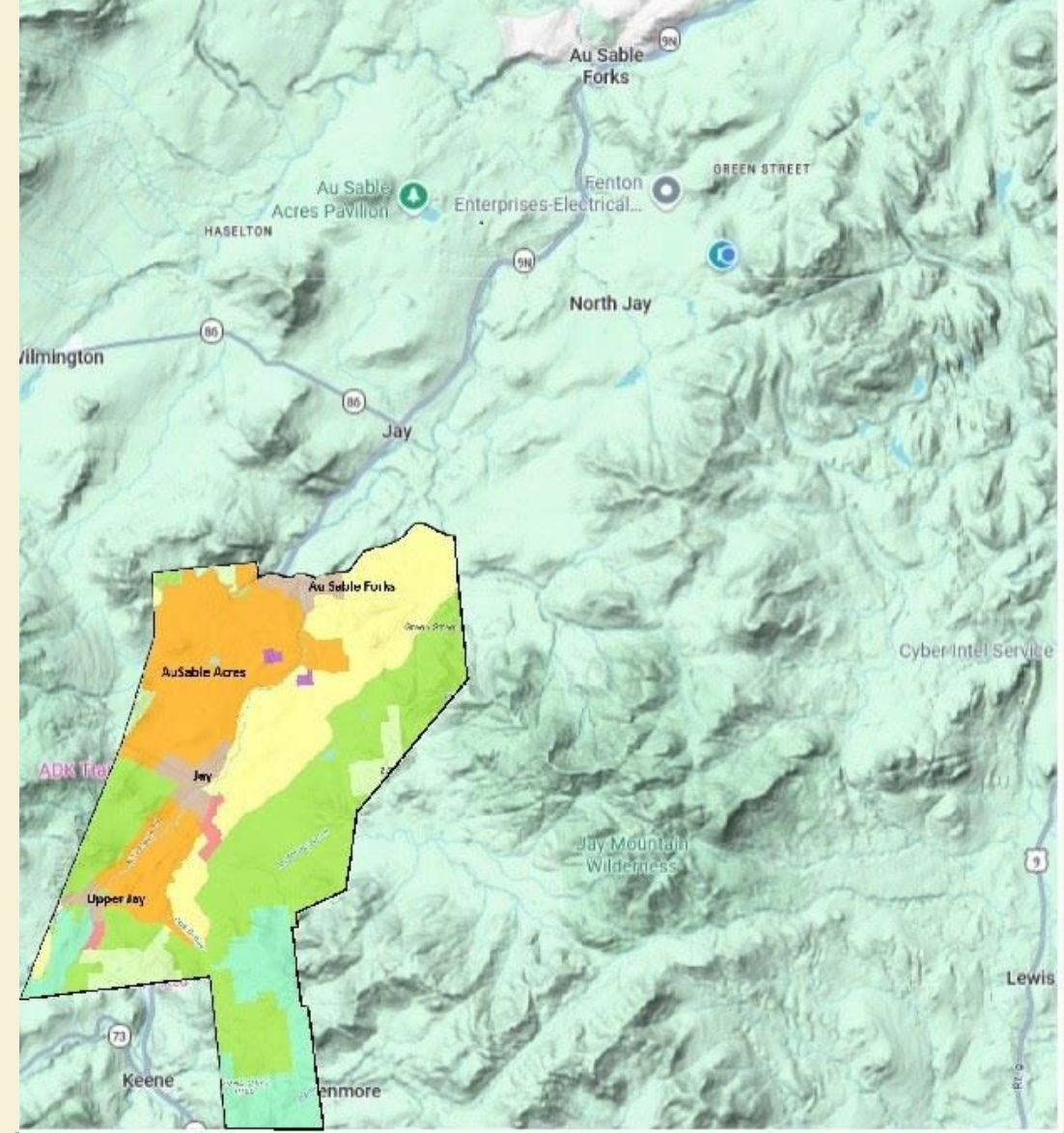




TOWN OF JAY: BALANCE OF LANDS

COMMUNITY SPOTLIGHT BRIEF

- Varied lands:
 - Jay Mountain Wilderness
 - Rural Use
 - Resource Management
 - Low Intensity Use near Ausable Acres
 - Many full-time & second homes
 - Some vacation & hunting cabins
- Increasing demand for development
 - Since 2019: Doubled rate of building permits
 - Stackman Development proposal
 - Increasing demand to build second homes
- Important to protect natural community areas
- Some upzoning managed growth potential





COMPREHENSIVE PLAN UPDATE

- Original plan adopted in 1980, updated 1997
- Five volunteer working groups:
 - Planning & Land Use
 - Economic Development
 - Climate & Infrastructure
 - Parks & Open Spaces
 - Human Services
- Residents have told us they value:
 - Community Spirit: small town atmosphere
 - Natural Beauty: open spaces/recreation/quiet
- Concerns:
 - Affordable housing
 - Business & work opportunities
 - Climate change
 - Short-term rental impacts
- Encourage growth but:
 - Want involved role for town & citizens
 - Invest in conservation/renewable energy

COMMUNITY SPOTLIGHT BRIEF



KEY CHALLENGES

Housing

Infrastructure

Sustaining an affordable, vibrant community

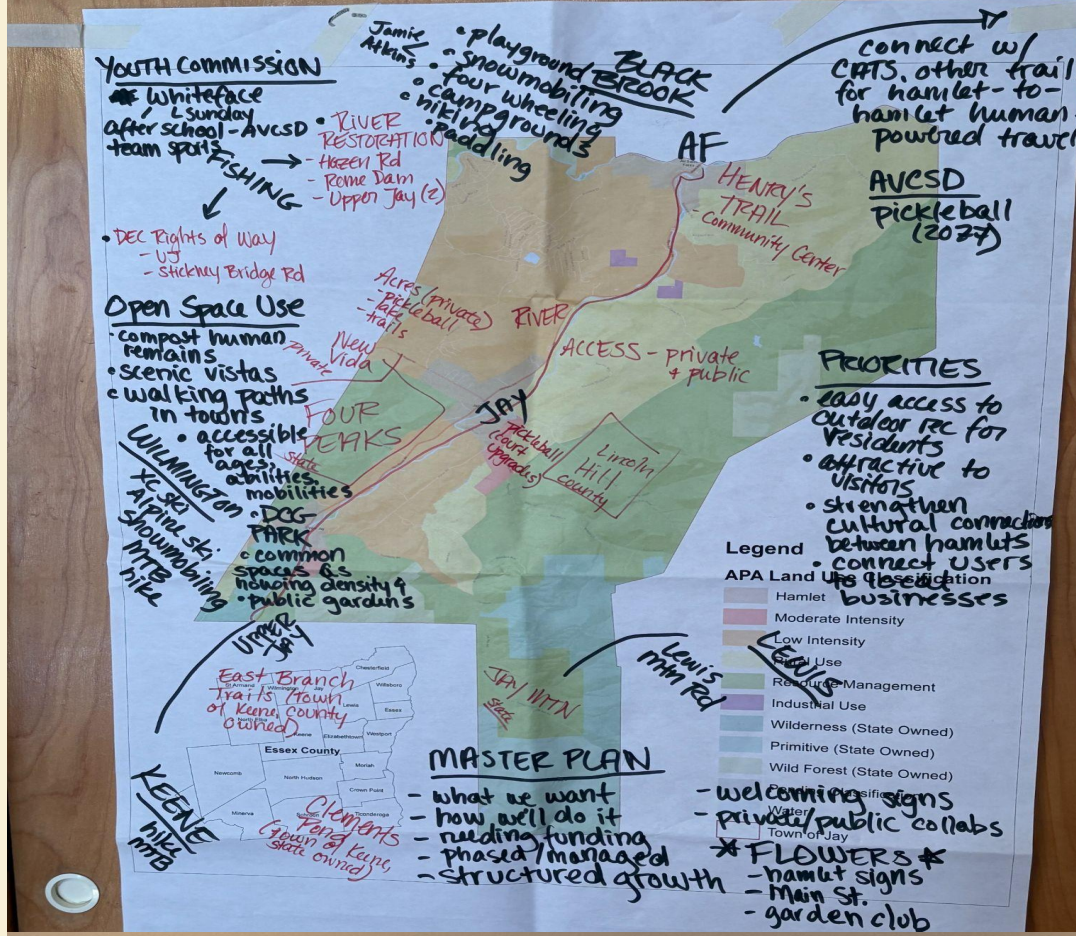
Protecting natural resources



OUR EMERGING PLAN

COMMUNITY SPOTLIGHT BRIEF

- Four Strategic Themes
 - Managing Growth
 - Enhancing Quality of Life
 - Creating Opportunity
 - Leveraging Resources
- Three Imperatives
 - Digital connectivity
 - Revitalize Main Street
 - Address affordable housing
- Seventeen Focal Topics

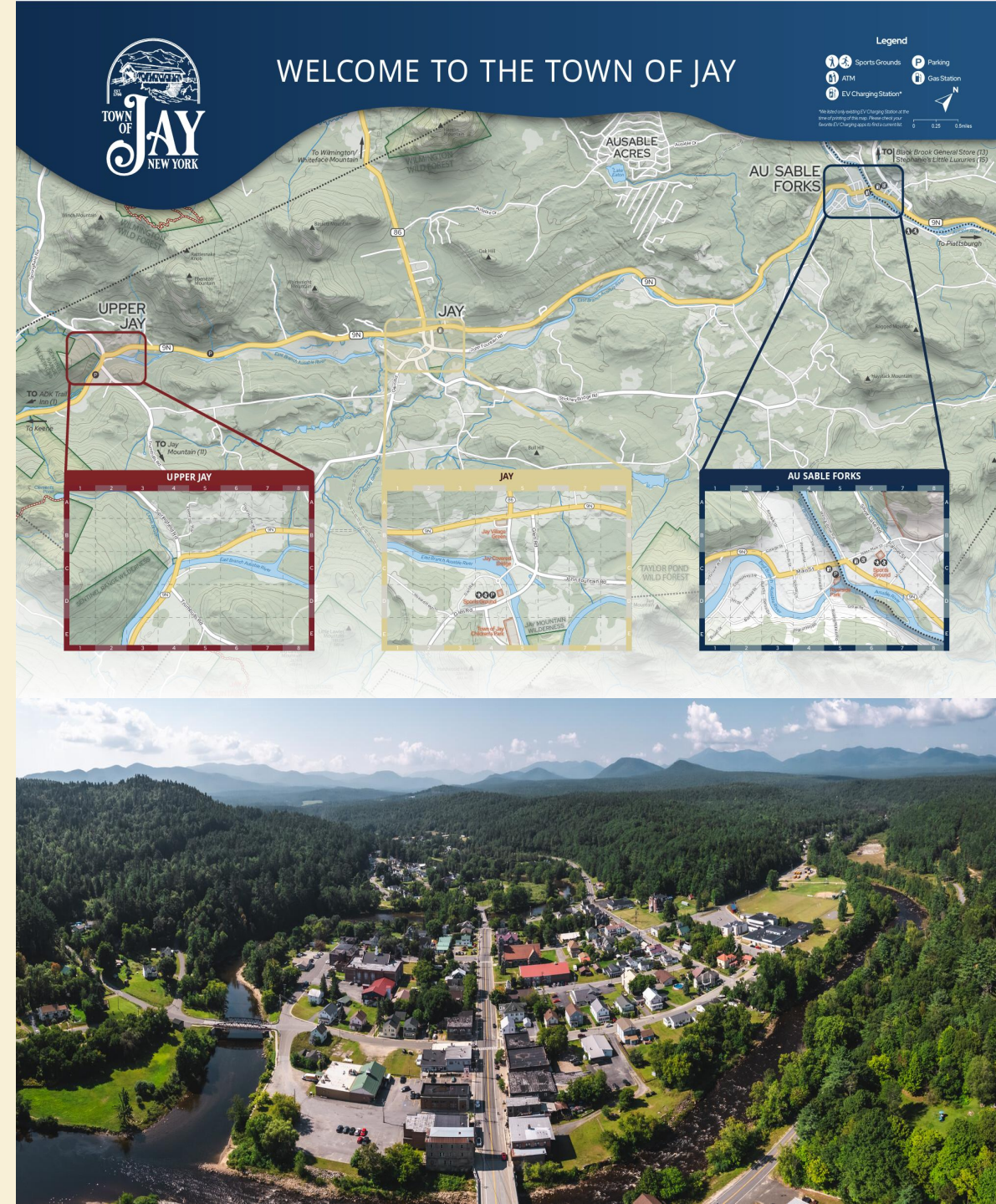




ECONOMIC DEVELOPMENT

- Main Street Revitalization
 - NY Technical Assistance Grant
 - NY Main Street grant to renovate commercial property; Streetscape Art
- Other Initiatives
 - Microenterprise grant - Essex County IDA
 - Historic District Designation
 - Essex County Land Bank - Three active projects
 - CDBG Housing Rehab Program
 - Ausable River Valley Business Assoc. - partner community
 - New Businesses in Town
 - Arts & Culture Community
- 2026 & Beyond
 - Visitor Center
 - NY Forward Grant application

COMMUNITY SPOTLIGHT BRIEF



INFRASTRUCTURE

- Ausable River East Branch Restoration
 - Post Irene analysis
 - Ice Jams
 - 13 Priority Projects: Two complete, balance require additional funding
 - Support from Ausable Freshwater Center (formerly Ausable River Association)
 - Governor’s Office of Resilient Homes & Communities (formerly Office of Storm Recovery)
- Water & Wastewater Upgrades
 - Water lines & meters
 - \$2m wastewater treatment plant upgrade
- Road Paving Capacity
- Need support to bring digital connectivity to entire community
 - Adding public wifi at key sites
- Electric supply for growth and electrification





CLIMATE SMART COMMUNITY

- Rome Dam removal
- Bronze Certified Community: 2025
- NYS Energy Efficiency Block Grant
- Renovation of Community Center
- Installed solar panels on Highway Garage
- Electric Vehicle chargers installed
- Salt Shed
- Composting pilot program grant
- Assistance for community members: Solar panel & heat pump installation program
- Jay Sustainability & Energy Fair
- Complete Street Policy Grant





PARKS AND OPEN SPACES

- Four Peaks Planning
 - Mountain Biking
 - Trail integration with other communities
- Upper Jay Park Development
- Citizen request for dog park
- Federal Recreational Economy for Rural Communities grant
- Potential to use FEMA floodplain properties



HUMAN SERVICES

- New Human Services committee
- Information guides to connect to county, non-profits and other services
- Ongoing senior services and activities at Community Center
- Mercy Care elder transportation services
- Suicide prevention
- Established new community food bank
- Conducting selective income survey





NEED FOR APA TECHNICAL ASSISTANCE

- Lands assessment for possible growth
 - Mapping
 - Infrastructure assessment
 - Pursuing Smart Growth Principles
 - Possible Hamlet expansion request
 - Possible selective rezoning request
- Redesign Town Planning Process
 - 1991 Town planning regulations only address sub-divisions; no town zoning
 - Planning board reinvigorated
 - Community lacks site plan review or concurrent review with the APA
 - Challenges to manage growth
- Preferred outcome
 - Planning authorities beyond sub-divisions
 - Give Community more voice in planning & permits
 - Work in parallel with APA
 - Improve efficiency, avoid redundancy & cover gaps in review processes



Current community trends & pressures:

Continued increase in short-term rentals, reducing availability of long-term rentals

Increasing demand for second homes and new residential development, adding pressure on natural resources and viewsheds

Limited availability of affordable housing for local workforce, seniors, young adults, and families

An aging year-round population